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SAN FRANCISCO, CAL., U. S. A.

VOLUME XII.

JANUARY 20th, 1891.

NUMBER 1.

A MONTHLY JOURNAL DEVOTED TO THE ARCHITECTURAL INTERESTS OF THE PACIFIC COAST.

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W. P. MOORE, PRESIDENT.

OLIVER EVERETT, SECRETARY.

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NOTICE.

MR. George H. Wolfe, having no further connection with the business of this journal, correspondents will in future address their communications to the *California Architect and Building News*, 408 California Street, San Francisco, Cal.

NOTICE OF MEETINGS.

SAN FRANCISCO CHAPTER, AMERICAN INSTITUTE ARCHITECTS, meets second Friday of each month at 408 California Street.

SETH BABSON, Pres. W. J. CUTHBERTSON, Vice-Pres.

OLIVER EVERETT, Sec. JOHN M. CURTIS, Treas.

TECHNICAL SOCIETY OF THE PACIFIC COAST, meets first Friday of each month at 408 California Street.

JOHN RICHARDS, Pres. PROF. FRANK SOULÉ, Vice-Pres.

OTTO VON GELDERN, Sec. JAS. SPIERS, Treas.

THE regular meeting of the San Francisco Chapter of the American Institute of Architects was held at their rooms, 408 California Street, on the 9th inst., the President, Seth Babson in the chair.

The Committee on Amendments to the Lien Laws made a partial report.

The Students' Sketch Club submitted designs for a mantel, the subject for the regular monthly competition, also designs in accordance with the special competition for a book-case and secretary's desk, for the S. F. Chapter, A. I. A.

Awards were made for a former competition, a "Wayside Shelter". 1st mention to "Wandering draughtsman", submitted by S. C. Benson; 2nd mention, to "Tramp", submitted by C. O. Hilpisch.

The feature of the evening was the reading of a paper on the Poetry of Architecture, by Oliver Everett, which will be found complete on another page.

THE regular meeting of the Technical Society of the Pacific Coast was held on the 2nd inst. at their rooms, 408 California street, President Richards in the chair.

A proposed bill for the licensing of County surveyors was presented and laid over for discussion until next meeting.

R. B. Elder read a paper on Electrical Accumulators and their application.

Any information in regard to membership in this Society can be had on application to the Secretary Otto Von Geldern at their rooms, 408 California street.

THE regular meeting of the Electrical Society was held in their rooms on the 5th inst.

Mr. W. C. Quimby read a paper on Primary Batteries. The subject was treated historically and chemically to a very full extent, describing in detail the different forms of batteries, and the best forms for certain results. Many points desirable, and otherwise, were shown by the apparatus present, and illustrated by the lecturer on the blackboard.

Any information in regard to membership in this Society can be had on application to the office of this Journal.

TECHNICAL SCHOOLS.

ON another page will be found a communication on "Technical Schools for Practical Instruction" by T. T. The subject is one of great moment to the people of this country, particularly so to California and the Pacific slope. We, therefore, invite our readers to an examination of the question as presented by our correspondent, who is a gentleman having a practical knowledge of some of the deficiencies of the present system of education.

In looking around for a remedy, the indications on every hand show a growing interest and appreciation by the public, of a thorough knowledge in those who are to conduct the business of the future, both theoretically and practically; and that with a systematized order of procedure, commencing with the elementary and passing through all the stages of development to the final conclusion of the highest qualifications in the various departments applicable to the practical issues of the day. While many believe that the great mass of the people would derive more benefit from public than from private beneficiary schools, yet, we all note with pride and satisfaction such noble munificent gifts as that of Ex-Gov. Leland Stanford at Palo Alto, where it is intended to carry out on a magnificent scale a system of technical instruction, which shall reach and include the highest practical training of the student.

Whenever any private undertaking is discussed, the question of first importance to those who are to furnish the funds, is, "will it pay, can an adequate return be had for the capital invested." When after investigation the project appears feasible and profitable, capital can be obtained and the work carried to conclusion.

In public works the same question arises and must be met by the same showing of profit to the capitalist, which in such cases are the tax-payers, before the project can be carried out. When several schemes are presented for consideration, the one giving the greatest returns for the capital invested would seem the proper one for adoption. Two propositions present themselves to the people as tax-payers. Under the present system of, we may say, enforced idleness, the excesses of youthful vigor finds an outlet in acts, which, under the laws, are considered as crimes against the welfare of the community; consequently houses of correction, industrial institutions and penitentiaries are built and maintained at a great expense to the tax-payers, for the restraint of the viciousness engendered by reason of misapplied energies. Would it not be of more profit to the tax-payer, and to society at large, if the procedure should be reversed, at least to the extent that we first build the public industrial and educational institutions upon such a broad basis that all growing youth, male or female, may learn some trade or calling whereby they may be enabled to obtain a respectable living and become beneficial members of the community? Such a program carried out, a very small percentage of the population would require to be kept under the restraint at present deemed necessary. We present herewith a few quotations which seem applicable to the proposition, "Education ever strives for advancement; Ignorance when discontented and active, sinks deeper into obscurity with each movement."

"Education acts with reason." "Ignorance acts with blindness." "Intelligent labor even when discontent, does not seek to destroy that which it has been paid to build up."

"Ignorant and brutish labor when discontent, seeks to destroy that which it has been paid to build."

"Intelligent labor is self-supporting; Ignorance tenants our jails and reformatories."

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THE question of sculptor's work on the stone work of buildings, has been brought forward with the suggestion that architects reserve from the stone work, the sculptors work to be let separate, or that the architect should at least choose the modeler and sculptor for such work. In case the architect should state in the specifications, or in any other way select the person who should perform such work, the probabilities are that a higher order of stone work would be developed and noticeable in such architectural finish.

The result of the experience of past ages places the architect in direct communication with the artist performing the work whenever excellence is to be obtained.

PROF. I. O. Baker is reputed as saying that, "Mortar may be made practically non absorbent by the addition of alum and potash soap, about 1 per cent of each. The alum and soap combine and form compounds of alumina and the fatty acids, which are insoluble in water."

In the foregoing statement Prof. Baker has not shown what becomes of the potash, which as we understand the subject, is a soluble compound and an active element for the disintegration of mortars. It is well known that solutions of alum and soap are alternately used on exterior surfaces of walls to prevent the penetration of moisture, but in such cases the alkaline efflorescence being soluble is easily washed out. When the soluble alkali is used in the composition of mortar for the walls, its action becomes more complicated and of more importance than a simple wash for exteriors. In some old walls recently taken down, the mortar was found to be so thoroughly disintegrated that it appeared much like dry sand, which upon testing showed soluble alkaline compounds in the mass of the mortar, more especially in the portions farthest removed from the action of the atmospheric elements and the exterior surfaces.

The subject is one that may be studied with profit from both the practical and theoretical point.

WE have received an invitation to be present at the Formal Opening of the new Builders and Traders Exchange Building at Kansas City, Mo., and we hereby tender to this Association of intelligent builders of a great city, the thanks of the California Architect and Building News, while wishing them the full measure of success they so justly deserve.

As we go to press we regret to chronicle the death of John W. Root, the Consulting Architect of the World's Fair, of pneumonia, after a brief illness. Mr. Root, though but thirty-eight years of age, stood at the head of his profession in this city. He was a member of the firm of Burnham & Root; and has been the leader in a movement that since the great fire has put in a permanent form many of the fine buildings that have so added to the reputation of Chicago.

Upon Mr. Root's World's Fair plans the directory was depending in a large measure to make the design of the Exposition an artistic success.

IN accordance with our notice of December, we commence in this issue a description, in detail, of the original plan and mode of construction as adopted by the builders of one of the oldest architectural structures of the coast. These descriptions will be continued from time to time as circumstances will allow. There are many persons who are conversant with the mode of construction of other buildings of this class, therefore, an invitation is hereby extended to such persons to aid in this matter. In the present instance our thanks are due to Mr. D. D. Davison who has lived there and occupied the building for a period of 40 years.

OLD MISSION CHURCH AT SONOMA, CALIFORNIA.

The date of this old work as given by different authorities appears somewhat at variance. The most recent date represents the building as erected some 75 years ago, while other quite reliable authorities place the date as far back as 150 years. Many peculiarities in the arrangement and details, point strongly to the direct influence of the more ancient date, and more in accordance with what would probably be the pioneer missionaries from some Spanish ship which at about that date anchored in the Bay of San Francisco, and history records a number of such ships. Some peculiarities point to a re-modeling or renovation at about 75 years ago. Special marks of this period indicate the influence of the line of pioneer missionaries from Mexico along through Santa Barbara, Monterey, San Francisco and finally at Sonoma. Many are the legends relating to this ancient mission, and the ritual and customs of the founders and occupants at various times, nearly all of which are without the province of this paper.

The walls are built with adobe bricks or slabs, 11 by 22 inches and 3 inches thick. The joints are laid in clay and chopped straw, the joints being large—ten courses in height to 36 inches. The bricks are laid to bond and when plastered with adobe are about 3 ft. in thickness for outside walls and main longitudinal walls, and 2 ft. for partition walls.

When we speak of adobe bricks or adobe walls it appears such a simple matter that few persons make an investigation of the subject; yet, the more we inquire into the particular qualifications of adobe, the deeper the mystery becomes. Can anyone explain to us why the adobe walls built 75 to 100 years ago withstand the weathering, and are in a better state of preservation than those built 20 years ago? The conviction forces itself upon us, that the builders of these old buildings were possessed of a practical knowledge of the method for working and tempering the material from the beginning to the end of the process for making the adobe bricks or wall slabs, unknown at the present time.

The adobe bricks used in the construction of the walls of this old building were made of the natural soil, which contains in its composition some organic matter and a considerable proportion of the decomposed rocks of the adjacent hills, and is of a clayey nature. When worked to a plastic state with water, and mixed with chopped straw, and dried by a series of processes known to the workers, when built up makes a firm wall of great strength and power of resistance to the weather, the average yearly rainfall being 22 inches.

The general plan of the building at present standing, was in former times, arranged and partitioned off as shown in the plan Fig. 1. The length is 120 feet by a width of 42, which with the verandas of nine feet each, covers a total width of 60 feet, being one-half the length.

A passage or drive way 11 feet in width, was placed at one end, and the chapel and kitchen at the other end. The intermediate rooms or apartments having connecting door-ways in the interior division walls or partitions of the several apartments.

Windows or openings for light also door ways were placed in the exterior walls, and it will be noticed that the doors are set opposite each other, or in direct lines, either longitudinally or

transversely. In the wall dividing the chapel from the kitchen is an opening through the wall 2 feet 3 inches wide and 1 foot 6 inches high, set 4 feet from floor to sill; whatever its purpose, is a subject for conjecture. At (a) is a square recess in the wall 2 feet deep, 2 feet 4 inches wide and 3 feet high. Its purpose not definitely known. At (c) is another recess or locker 2 feet 6 inches wide and 3 feet 6 inches high, set 4 feet above the floor. This locker has doors and shelves and will be described hereinafter. At (d) is a niche for font and formed like (a or c). A drain, built of burned bricks has been lately discovered in the ground through the main passage.

If we now examine the transverse section, Fig. 2, the general features of the construction are apparent. The main story being 11 feet in the clear, and the attic 4 feet at the low parts and 10 feet at the high parts. The three main walls are shown, having doorways at (e and f); and windows at (d).

The main exterior side walls at (e and d) extend to roof, and the center wall (f) to the height of main story with this exception, the two walls, (h h) of kitchen in Fig. 1 and h, Fig. 2 extend to the roof, therefore, the kitchen extends to the full height to the roof. Two poles about 10 inches in diameter were built into the walls and extended across the kitchen at (a and b) in Fig. 1 and at (a and b) in Fig. 2. These were for drying meat, etc.

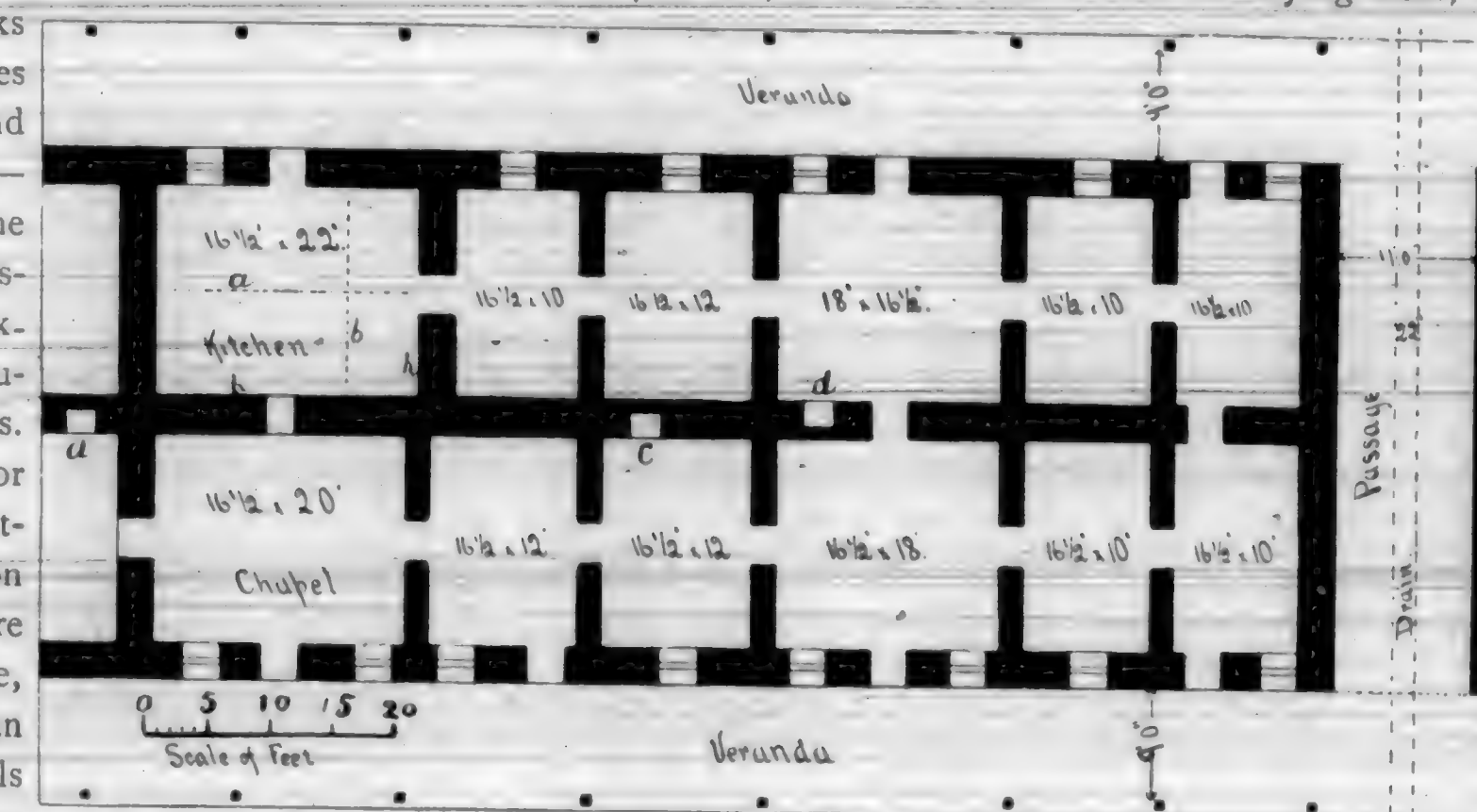


Fig. 1.

GROUND PLAN.

Windows were placed in the walls of the attic at (c c) having 3 to 4 inch poles built into the walls as guards.

The timbers (t) for floor of attic were 9 by 9 inches and set 22 inches apart, and extending clear through the walls, over these were laid split and hewn planks (v) 1 3/4 inches thick and from 11 to 22 inches wide, then over these the finished floor of adobe tiles, (w) 22 by 22 inches, and 3 inches thick. Over the main center wall at (x) is a wooden wall plate 3 by 11 inches, upon which rests the posts (g) supporting roof.

Lintels (s-s) over openings are 7 1/2 inches thick and in two or three pieces in width to correspond with the thickness of the walls. Wall plates under timbers at (r-r) are 4 1/2 inches thick, and the

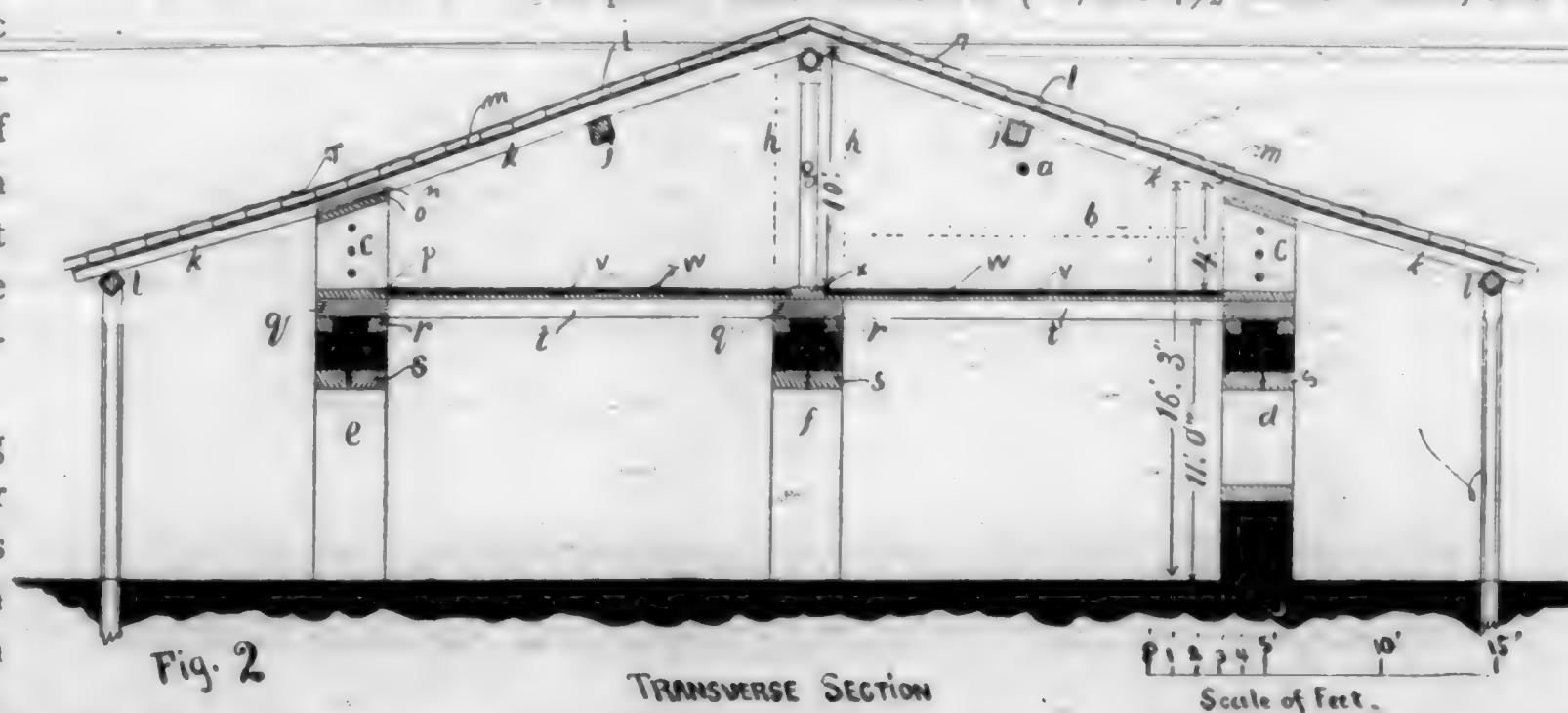


Fig. 2.

TRANSVERSE SECTION

space (q) over walls and between timbers filled in solid. Window sills (p) 3 inches thick. Lintels (o) 3 inches thick, and the space (n) between rafters filled in solid to roof. The rafters (k) are of round poles about 10 inches in diameter at the butt which is placed at the top, and 4 to 6 inches at (l) over veranda posts. (j-j) are strengthening beams 11 by 11 inches; (m) is the brush thatch and (T) the tiles of roof which will be shown more in detail hereafter.

H. T. B.



Correspondents must not forget to give their names and address, as the editors cannot publish anonymous communications, nor will they hold themselves responsible for opinions expressed by their correspondents.

TECHNICAL SCHOOLS FOR PRACTICAL INSTRUCTION.

MR. EDITOR:—

Every intelligent reader of THE CALIFORNIA ARCHITECT must appreciate its broad and comprehensive policy in all that pertains to both the architectural, building and manufacturing crafts, and rejoice that it has done such commendable work in giving a higher tone to all that relates to architecture and construction in this city and state.

The science of architecture and construction, the art of design and fabrication being so inter-related, it follows that whatever tends to improve and advance the one must also act for the benefit of the other. Hence, when we speak of the interests, growth and advancement of architecture, it follows that such improvement and advancement is all important to the manufacturer, builder and building trades generally. Thus progress follows for all in proportion to the recognition of both professional and technical principles, and that consequent advance which leaves its impress for the general good. Perhaps this may be said to be an educational work, and that your journal should be proud of the good so far done.

It is the belief that its powerful influence in this line may be still further felt that the writer would dwell on a subject which, if impartially considered will be seen to be of some importance to those mentioned, and at the same time be a matter of vast importance to both our city and state.

San Francisco needs in its midst a public Polytechnic Institute or Technical School of Mechanic Arts. An institute where in the youth and apprentices of the city may obtain special and practical training in its schools of Design and in the theory and practice of the various Mechanic Arts, and the Lecture Rooms of which would be kept open for the adult public and so foster an appreciative sentiment in all that relates to manufacturers, mechanics, the useful arts, and the grand sciences of engineering and architecture.

This structure should occupy not less than an entire block, and be centrally located. While day classes would be encouraged, the night classes and lectures for our young men and women should be its especial feature. It should be equipped in all its various departments with the most complete educational staff of *practical teachers*, elected from the active professional element, who in business were a practical success.

And its libraries, models, tools and all other requisites of such a practical character that our California apprentices and students in the science and art of design and construction, etc., might soon stand before the world with heads erect, and not be the botches which so many of them are to-day, especially in the building trades.

This institute should be of as easy access by cable lines as the present Mechanics Pavilion. It should be provided with baths and lavatories, so that apprentices coming from the building, foundry, factory or mill, could go direct from their work (if necessary) in his or her work clothes to the lavatory department, enter their numbered box; don his or her bath suit; when through their bath, redress, and then go to the Institute restaurant, and from there while an hour away in the many apprentice club rooms, until the chimes ring out the hour for the students to ascend the many elevators which ply heavenward up a grand ten-story fire-proof structure.

In reading these suggestions it should be borne in mind that San Francisco has a great future; and that it is all important for its well-fare that manufactures of every kind should center about this city. It should also be remembered that manufacturers, builders, foundrymen and others, will find it to their interest to see their apprentices and workmen grow in a thorough knowledge of their art, while a higher character and more manly dignity would obtain in each craft and craftsman.

California has vast undeveloped resources and it is to her commercial interests to see them develop and to have skilled California workmen who in theory and practice will be able to enter new fields for practice and profitable development. Our native sons should in their own state be given the opportunity to become competent to utilize the undeveloped wealth of their own state, and not see its interests drift into the hands of foreign syndicates who will displace them with alien labor.

These institutes of theoretical and practical training are to be found in most of the large cities of Europe, and England, France and Germany, each spend millions annually for their public maintenance. Since their establishment in England alone the social condition of the workers has been vastly improved. Intemperance and vice has decreased, and the social status of the working people generally changed for the better.

It is well known that thousands of our city youth annually come to adult age, and that thousands of them seek and are unable to find employment: in the most cases, for the reason that many San Francisco youths are not the most desirable material for apprentices, and because that their education has been confined to the primary school grades and the still lower grades of our less respectable side-streets, alleys and dens. The writer has been some twenty-five years connectedly with the building trades in this city, and it asked to give his opinion and experience with the San Francisco apprentice, or of the graduated "journey-man apprentice" he would characterize him as a *cigarette smoking botch*, too conceited to learn, and as a working man, too ignorant to recognize his ignorance.

In the absence of any "apprentice law" he runs from one boss to another, and instead of legitimately learning the trade, goes from shop to shop as a "journeyman-apprentice," and steals the trade or the little he knows of it. Hence it is that so many respectable building firms employ none but well-known mechanics and artisans, and refuse to have anything to do with your hoodlum apprentice.

But all this can be remedied. The youth of California are as good as the youth of any country, but they need that special technical training which shall obliterate from their vocabulary the words "chippie" and "cigarette."

It should be remembered that their domestic and social environment, together with a false and precocious idea of *individual liberty independence*, and the fact that a great deal of labor is made repulsive through the greed of many ignorant, and selfish bosses and manufacturers, tends to make our San Francisco youth look repellantly on what should be regarded by all as honorable toil.

In the founding of the Mechanic Art College at Berkeley, the special training of our youth was had in view, but how many students have graduated from either the Mechanic Arts College or the Agricultural College who are to be found *actively employed* either in mechanical or agricultural production.

However the intention of the State was all right, and the idea embodied may be made practical and of great benefit to our State, provided Technical Schools of Design and Mechanic Arts are generally founded in *cities* of a given population, and the proper legal course pursued by which the site, the building and maintenance of such Institutes would be provided for, so as to be for all time public Institutes which would attract to such city or cities, thousands on thousands of well-to-do people who are seeking such localities where their children could receive a practical training, fitting them to become respected and useful factors in the social compact of which it is the high privilege of each American to claim he is a sovereign peer.

The writer does not look with favor on those charity institutes founded by individuals who have amassed great wealth. There are many reasons therefore, the principle one is that the State being the conservator of the well being of its members, then all institutes founded for the intellectual and material training and discipline of its youth or wards would result in a higher class of wealth producers, whose special training fitted them to develop and utilize other and still other fields of wealth which would bring a greater revenue and a more general prosperity as a result.

Now as all members of the State are supposed to be generally interested in that which tends to develop the wealth and resources of their State, for the reason that the benefit thereof becomes general and reciprocal, then each member of the social compact should be willing to bear his or her share of taxation to see the general prosperity become assured and transmit a legacy of independence to those who followed us.

It may be said that such institutes would cost considerable

for their creation and maintenance. Well, would not their maintenance be a better investment of public funds than the appropriations which go to sustain jails and state prisons, and would not the graduates of the institutes suggested give better results for the money invested than the graduates from those latter colleges of crime.

The writer looks on this subject from a cold-blooded business standpoint as well as one of patriotism. He considers it a *good investment* not only for the public but one which every intelligent capitalist and property owner should consider.

The capitalist and manufacturer should know that the cultured and expert wealth-producer is by all odds the most desirable and profitable worker in the end, and the property owner should also remember that the anarchist finds his fertile field for devilish mischief in the midst of unskilled ignorance, and boorish brutishness.

If there is any truism, the capitalist and property owner should remember it is that "The Devil finds work for idle hands to do."

Feeling that I have already occupied much of your valuable space, I beg to suggest in conclusion, Mr. Editor, that this subject in all its bearings is too important to be ignored or overlooked. Its ramifications are too extensive and of such concern to the public weal that it is to be hoped that this journal will lend its broad reaching influence for the successful realization of the work here suggested.

T. T.

GAS FOR HEATING.

As the cold weather is now upon us, it seems opportune for the consideration of the problem relating to the use of gas for the heating of apartments.

The obstacles and difficulties to be overcome are many, yet a surprising degree of success has been attained by some of the heaters already in the market, as independent fixtures; and where ordinary intelligence is brought to bear upon their proper use, they seem to give satisfaction. The small minority who cry out against them, will, in most cases continue their use, rather than return to the old system of coal, smoke, soot, dust and ashes.

Such stoves as are now manufactured, present a variety of designs, as well as great ingenuity in the devices for burning the vapor in such a manner as to obtain the most available heat from the least quantity of gas. It was found that a small gas stove which had been in use for some five years, that when the temperature out doors was 45° F., the stove, with a tube from a five foot burner, would raise the temperature of the room to 58°; by closing the holes on the side it was increased to 60°. By placing a sheet-iron cap over the central opening in the top of the stove, it would cause an increase of some 2 to 4 degrees, thus bringing the temperature to 63 or 64 degrees.

Near the stove above mentioned, stood another gas heater of a different pattern, which consumed about three-fourths of the quantity of gas used by the first heater, yet with the same outside temperature, that of the room would be raised to 68 or 70 degrees. These stoves were of ordinary form and set above the floor, leaving a space of a few inches to supply air for the flame. This stratum of cold air is the cause of many of the objections raised against the system.

Some manufacturers have endeavored to overcome this defect, and have succeeded to some extent; but considerable still remains to be done in this direction. It would be desirable in many cases, if architects, when preparing plans, would arrange for gas heaters. This could be done in many ways.

The heat utilized in gas stoves, commences about six inches above the floor, leaving a stratum of cold air in motion for supplying the flame. If a sinkage or well, lined with metal, could be arranged in the floor to a depth of from 12 to 15 inches, and provided with a fresh air pipe from the outside, also a gas pipe with fixtures ready for attachment to the stove, we could then set the stove into this receptacle and attach it to the gas pipe. The cold or fresh air supply will then come through the pipe from the outside, thereby avoiding the draft around the bottom of the stove. The heated air will be thrown out into the room at a lower point than is usual, thus warming the room in a more agreeable manner.

When the stove is not in use a cover could be fitted over the receptacle, which if provided with suitable openings would

supply fresh air for ventilation without the annoyance from dust and flies.

With the use of gas it would not be necessary to build large fire places as required for coal, and a much better arrangement could be had by forming a niche or receptacle in the side wall where desired. From this receptacle low down, better, if even with the lower side of the floor timbers, and double line the sides and top with sheet iron, leaving an air space all round of about two to three inches. Bring the gas pipes in through the wall, and provide the burners. The burners should be set as low as possible, if possible at the height of the floor, in order to throw the direct heat of the flame out along the floor surface.

The double walls inclosing the air space saves all the waste heat at the back, warming the air, which may be conducted into the room.

January 6th, 1891.

PROPOSED AMENDMENTS TO THE LIEN LAWS OF THE STATE OF CALIFORNIA,

AS RECOMMENDED BY THE

Joint Committee from the following Associations:

S. F. CHAPTER OF ARCHITECTS, A. I. A.

BUILDERS' ASSOCIATION,

MILL MEN'S ASSOCIATION,

BUILDERS' EXCHANGE,

LUMBER DEALERS' EXCHANGE,

BUILDERS' PROTECTIVE ASSOCIATION OF OAKLAND.

Amending sections 1183, 1184 and 1187 of the Code of Civil Procedure of the State of California, as amended March 15th, 1887; and section 1195 of the said Code of Civil Procedure, as amended March 18th, 1885, relating to Liens of Mechanics and others.

The people of the State of California, represented in Senate and Assembly, do enact as follows:—

Section 1, section 1183, of the Code of Civil Procedure of the State of California is amended so as to read as follows:—

SEC. 1183. Mechanics, material-men, contractors, sub-contractors, artisans, architects, machinists, builders, miners, and all persons and laborers of every class performing labor upon or furnishing materials to be used in the construction, alteration, addition to, or repair, either in whole or in part, of any building, wharf, bridge, ditch, flume, aqueduct, tunnel, fence, machinery, railroad, wagon road, or other structure, shall have a lien upon the property upon which they have bestowed labor, or furnished materials, for the value of such labor done and materials furnished, whether at the instance of the owner or of any other person acting by his authority, or under him, as contractor or otherwise; and any person who performs labor in any mining claim or claims has a lien upon the same, and the works owned and used by the owners for reducing the ores from such mining claim or claims, for the work or labor done, or materials furnished by each respectively, whether done or furnished at the instance of the owner of the building or other improvement, or his agent; and every contractor, sub-contractor, architect, builder, or other person having charge of any mining, or of the construction, alteration, addition to or repair, either in whole or in part of any building or other improvement as aforesaid, shall be held to be the agent of the owner, for the purposes of this chapter. In case of a contract for the work, between the reputed owner and his contractor, the lien shall extend to the entire contract price; and such contract shall operate as a lien in favor of all persons, except the contractor, to the extent of the whole contract price, and after all such liens are satisfied, then as a lien for any balance of the contract price in favor of the contractor. All such contracts shall be in writing when the amount agreed to be paid thereunder exceeds one thousand dollars, and shall be subscribed by the parties thereto; and the said contract or a memorandum thereof, setting forth the names of all the parties to the contract, a description of the property to be affected thereby, together with a statement of the general character of the work to be done, the total amount to be paid thereunder, and the amounts of all partial payments, together with the times when such payments shall be due and payable, shall, before the work is commenced, be filed in the office of the County Recorder

of the county, or city and county, where the property is situated, who shall receive one dollar for such filing; otherwise they shall be wholly void, and no recovery shall be had thereon by either party thereto; and in such case, the labor done and materials furnished by all persons aforesaid, except the contractor, shall be deemed to have been done and furnished at the personal instance of the owner, and they shall have a lien for the value thereof.

In case a memorandum shall be filed, as herein provided, the same before the filing thereof, shall be endorsed "Memorandum of Contract."

In all cities, cities and counties or incorporated towns, where there exist fire ordinances or municipal law regulating the construction of buildings, all such contracts and every memorandum thereof, before being filed, as herein provided, shall have endorsed thereon, a certificate, signed by the officer or person charged by the Board of Supervisors, City Council or other governing body of such city, city and county or incorporated town with the duty of enforcing said fire ordinance or laws, which said certificate shall state that the plans for the construction of said building, improvement, structure or work mentioned in said contract, fully comply with all the requirements of such fire ordinances or laws.

Said officer, or person giving such certificate, shall be entitled to charge therefor, the sum of \$5; in all cases where the contract price mentioned in said contract amounts to \$5,000 or less, and fifty cents additional for each \$1,000 or fraction thereof in excess of \$5,000.

Section II. Section 1184, of the Code of Civil Procedure, of the State of California, is amended so as to read as follows:—

SEC. 1184. No part of the contract price shall, by the terms of any contract, between the owner and his contractor, be made payable, nor shall the same, or any part thereof, be paid in advance of the commencement of the work; but the contract price shall, by the terms of the contract, be made payable in installments, at specified times, after the commencement of the work, or upon the completion of specified portions thereof; provided, that at least twenty-five per cent. of the whole contract price shall be made payable at least fifteen days after the final completion of the contract. No payment made prior to the time when the same is due under the terms and conditions of any such contract shall be valid for the purposes of defeating, diminishing, or discharging any lien in favor of any person except the contractor, but as to such liens, such payment shall be deemed as if not made, and shall be applicable to such liens, notwithstanding, that the contractor to whom it was paid may thereafter abandon his contract, or be or become indebted to the reputed owner in any amount, for damages or otherwise, for non-performance of his contract or otherwise. As to all liens, except that of the contractor, the whole contract price, whatever may be the amount thereof, shall be payable in money, and shall not be diminished by any prior or subsequent indebtedness, offset, or counter-claim in favor of the reputed owner and against the contractor. No alteration of any contract shall affect any lien acquired under the provisions of this chapter. In case any contract and the alteration thereof does not conform substantially to the provisions of this section, the labor done and materials furnished by all persons, except the contractor, shall be deemed to have been done and furnished at the personal instance and request of the person who contracted with the contractor, and they shall have a lien for the value thereof. Any of the persons mentioned in section eleven hundred and eighty-three, except the contractor, may, at any time, give to the reputed owner a written notice that they have performed labor or furnished materials, or both, to the contractor, or other person acting by authority of the reputed owner, or that they have agreed to do so, stating in general terms the kind of labor and materials, and the name of the person to or for whom the same was done or furnished, or both, and the amount in value, as near as may be, of that already done or furnished, or both, and of the whole agreed to be done or furnished, or both. Such notice may be given by delivering the same to the reputed owner personally, or by leaving it at his residence or place of business, with some person in charge; or by delivering it to his architect, or by leaving it at their residence or place of business, with some person in charge; or by posting it in a conspicuous place upon the mining claim, or improvement. No such notice shall be invalid by reason or any defect of form: provided it is sufficient to inform the reputed owner of the substantial matters herein provided for, or to put him upon inquiry as to

such matters. Upon such notice being given, it shall be the duty of the person who contracted with the contractor, to, and he shall, with-hold from his contractor, or from any person acting under such reputed owner, and to whom by said notice the said labor or materials, or both have been furnished or agreed to be furnished, sufficient money due or that may become due to such contractor, or other person, to answer such claim and any lien that may be filed therefor, for record under this chapter, including counsel fees, not exceeding one hundred dollars in each case, besides reasonable costs provided for in this chapter.

Section III. Section 1187, of the Code of Civil Procedure, of the State of California, is amended so as to read as follows:—

SEC. 1187. Every original contractor, within sixty days after the completion of his contract, and every person, save the original contractor, claiming the benefit of this chapter, within ten days after the completion of any building, improvement or structure, or after the completion of the alteration, addition to, or repair thereof, or the performance of any labor in a mining claim, must file for record with the county recorder of the county in which such property or some part thereof, is situated, a claim containing a statement of his demand, after deducting all just credits and offsets, with the name of the owner or reputed owner, if known, and also the name of the person by whom he was employed or to whom he furnished the materials, with a statement of the terms, time given, and conditions of his contract, and also a description of the property to be charged with the lien, sufficient for identification, which claim must be verified by the oath of himself or of some other person. The occupation or use of any building, improvement or structure by the owner, his representative, or tenant, or the acceptance by said owner or his agent, of said building, improvement, or structure, shall be deemed conclusive evidence of completion; and cessation from labor for thirty days upon any unfinished building, improvement, or structure, or the alteration, addition to, or repair thereof, shall be deemed equivalent to a completion thereof for all the purposes of this chapter.

In case of completion being established by occupation, or use, or by the cessation of labor for a period of thirty days, as herein provided, all persons, save the original contractor, claiming the benefits of this chapter, may have thirty days from and after the date of such occupation or use, or from and after the expiration of thirty days immediately succeeding the cessation of labor, within which to file their claims of lien, as herein provided. And in each case, the owner or person who contracted with the contractor must withhold the final payment of twenty-five per cent. of the contract price for thirty-five days after such occupation or use, or after such cessation of labor for a period of thirty days.

The completion of any building, improvement or structure or the completion of any alteration, addition to or repair thereof, or the performance of any labor in any mining claim shall, except when the same is established by the occupation or use thereof, or by the cessation of labor thereon, for a period of thirty days, be evidenced by a certificate of completion, which said certificate shall be signed by the reputed owner, his architect or agent, and shall be filed for record in the County Recorder's office of said county or said city and county, where such property is situated, who shall receive fifty (50) cents for filing and recording the same, and until said certificate is so filed and recorded, said work shall be deemed not to have been completed.

The recorder of the county, or city and county, must record all certificates required by this section in a book kept by him for that purpose, which record must be indexed as deeds and other conveyances are required by law to be indexed.

Section IV. Section 1195, of the Code of Civil Procedure, of the State of California, is amended so as to read as follows:—

SEC. 1195. Any number of persons claiming liens may join in the same action, and when separate actions are commenced, the Court must consolidate them. The Court must also allow, as a part of the costs, the money paid for filing and recording the lien, and reasonable attorney's fees in the Superior and Supreme Courts, such costs and attorney's fees to be allowed to each lien claimant whose lien is established, whether he be plaintiff or defendant, or whether they all join in one action or separate actions are consolidated.

Section V. This act shall take effect and be in force immediately upon its passage.

THE POETRY OF ARCHITECTURE.

A paper read before the San Francisco Chapter of the American Institute of Architects, by Oliver Everett.

To begin my paper with a familiar quotation,

"Architecture is frozen music".

The quotation not only emphasizes the permanency of an architect's creation, but, at the same time, warns him to be careful how he sends his work forth, for unfortunately the poor work, as well as the meritorious, is congealed, and the sweetest notes make discord, unless played to the requirements of harmony.

As the purposes of Architecture have varied from the defensive habitations required by the early races, to the devotional structures of Medieval times, and the prosaic and practical buildings of to-day, so have the various forms and expressions resulting therefrom varied, and it is an interesting study to trace this evolution of styles and its development of ideas, and to speculate on the changes yet to be wrought by our posterity.

In passing judgment on the works of the past, the first consideration should be to ascertain how perfectly or imperfectly the needs of the situation were met, and then we may sympathize with the satisfaction experienced by the architect upon the successful realization of his ideal. Unfortunately, however, every architect does not win the applause he considers himself to merit, for the question of individual taste enters largely into the verdict of the public, as well as that of the discriminating critic.

From the mists of antiquity comes the story of the unfortunate architect thrown into space by angry Jove; if this punishment was intended as a mark of professional disapprobation, he must have been guilty of something atrocious.

As this paper is only designed to obtain a few glimpses of architectural achievements from the point of view of the poet, and as the earlier architecture comes from the Orient, suppose we begin by this description of the dwellings of an Indian Prince, written by Sir Edwin Arnold.

The King commanded that there should be built
Three stately houses, one of hewn square beams
With cedar lining, warm for winter days;
One of veined marbles, cool for summer heat;
And one of burned bricks, with blue tiles bedecked,
Pleasant at seed-time, when the champaks bud—
Subha, Suramma, Ramma, were their names.
Delicious gardens round about them bloomed,
Streams wandered wild and musky thickets stretched,
With many a bright pavilion and fair lawn.

and still again as follows:

Stately and beautiful he bade them build, love's prison house,
So that in all the earth no marvel was
Like Vishramvan, the Prince's pleasure-place.
Midway in those wide palace-grounds there rose
A verdant hill whose base Rohini bathed
Murmuring adown from Himalaya's broad feet,
To bear its tribute to Gunga's waves

Fronting this
The builders set the bright pavilion up,
Fair-planted on the terraced hill, with towers
On either flank and pillared cloisters round.
Its beams were carved with stories of old time.

By winding ways of garden and of court
The inner gate was reached, of marble wrought,
White, with pink veins; the lintel lazuli,
The threshold alabaster, and the doors
Sandal wood, cut in pictured panelling;
Whereby to lofty halls and shadowy bowers
Passed the delighted foot, on stately stairs,
Through latticed galleries, 'neath painted roofs
And clustering columns,

But innermost,

Beyond the richness of those hundred halls,
A secret chamber lurked, where skill had spent
All lovely fantasies to lull the mind:
The entrance of it was a cloistered square—
Roofed by the sky, and in the midst a tank
Of milky marble built, and laid with slabs
Of milk white marble; bordered round the tank
And on the steps, and all along the frieze
With tender inlaid work of agate-stones.
Cool as to tread in summer-time on snows
It was to loiter there; sunbeams dropped
Their gold, and, passing into porch and niche,
Softened to shadows, silvery, pale and dim,
As if the very Day paused and grew Eve
In love and silence at that bower's gate;
For there beyond the gate the chamber was,
Beautiful, sweet; a wonder of the world!
Soft light from perfumed lamps through windows fell
Of nakre and stained stars of lucent film,
On golden cloths outspread, and silken beds,
And heavy splendor of the purdah's fringe,
Lifted to take only the loveliest in.
Here, whether it was night or day none knew,
For always streamed that softened light, more bright
Than sunrise, but as tender as the eve's.

And around, the King bade build
A massive wall, and in the wall a gate
With brazen folding doors, which but to roll
Back on their hinges, asked a hundred arms;
And inside this another gate he made,
And yet within another—through the three
Must one pass if he quit that pleasure-house.

Next listen to this description of Milton's in *Paradise Lost*, of a structure reared by fallen angels:

Anon out of the earth a fabric huge
Rose, like an exhalation, with the sound
Of dulcet symphonies and voices sweet,
Built like a temple, where pilasters round
Were set, and Doric pillars overlaid
With golden architrave; nor did there want
Cornice or frieze with bossy sculptures grav'n;
The roof was fretted gold. Not Babylon,
Nor great Alcairo, such magnificence
Equalled in all their glories, to inshrine
Belus or Serapis their Gods, or seat
Their kings, when Egypt with Assyria strove
In wealth and luxury. Th' ascending pile
Stood, fixt her stately height, and straight the doors,
Op'ning their brazen folds, discover, wide
Within, her ample spaces, o'er the smooth
And level pavement: from the arched roof,
Pendent by subtle magic, many a row
Of starry lamps and blazing cressets, fed
With naphtha and asphaltus, yielded light
As from a sky. The hasty multitude
Admiring entered, and the work some praise,
And some the Architect: his hand was known
In heaven by many a towered structure high,
Where scepter'd angels held their residence,
And sat as princes; whom the supreme King
Exalted to such power, and gave to rule,
Each in his hierarchy, the orders bright.
Nor was his name unheard or unadorn'd
In ancient Greece; and in Ausonian land
Men called him Mulciber, and how he fell
From heav'n they fabled, thrown by angry Jove
Sheer o'er the crystal battlements; from morn
To noon he fell, from noon to dewy eve,
A summer's day; and with the setting sun
Dropt from the zenith like a falling star,
On Lemnos th' Aegean isle.

The following is a description by Sir Walter Scott of a rustic retreat in the highlands of Scotland. How different are the methods and materials employed, from those described in the preceding passages.

Here, for retreat in dangerous hour,
Some chief had framed a rustic bower.

It was a lodge of ample size,
But strange of structure and device;
Of such materials as around
The workman's hand had readiest found.
Lopped of their boughs, their hoar trunks bared,
And by the hatchet rudely squared,
To give the walls their destined height,
The sturdy oak and ash unite;
While moss and clay, and leaves combined
To fence each crevice from the wind.
The lighter pine-trees overhead,
Their slender length for rafters spread,
And withered heath and rushes dry
Supplied a russet canopy.

Due westward fronting on the green,
A rural portico was seen,
Aloft on native pillars borne,
Of mountain fir with bark unshorn,
Where Ellen's hand had taught to twine
The ivy and Idæan vine.

The following passage from "Marmion" is descriptive of an ancient Saxon monastery as seen from the sea:

As to the port the galley flew,
Higher and higher rose to view
The Castle, with its battled walls,
The ancient monastery's halls,
A solemn, huge, and dark-red pile,
Placed on the margin of the Isle.

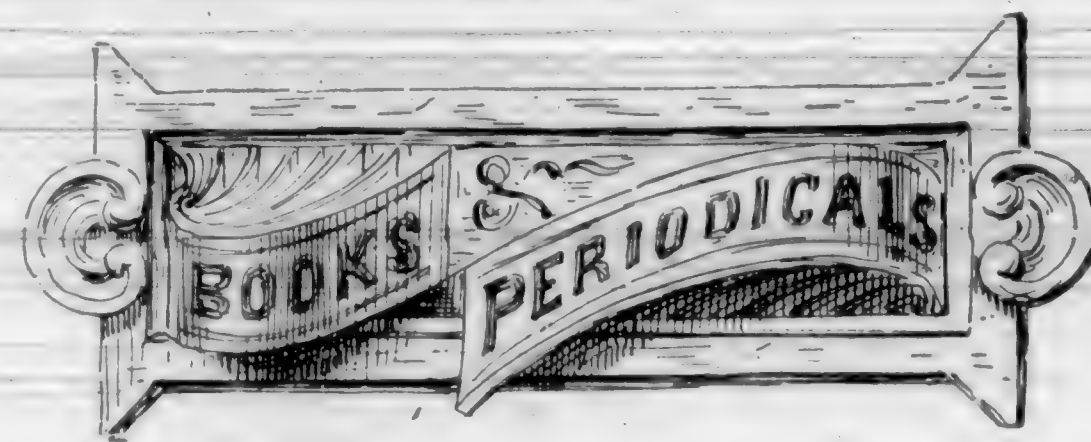
In Saxon strength the Abbey frowned,
With massive arches broad and round,
That rose alternate, row and row
On ponderous columns, short and low
Built ere the art was known,
By pointed aisle, and shafted stalk,
The arcades of an alley'd walk,
To emulate in stone.
On the deep walls, the heathen Dane,
Had poured his impious rage in vain;
And needful was such strength to these,
Exposed to the tempestuous seas.



PERSPECTIVE VIEW.

Scourged by the wind's eternal sway,
Open to rovers fierce as they,
Which could twelve hundred years withstand
Winds, waves, and northern pirates' hand.
Not but that portion of the pile,
Rebuilt in a later style,
Showed where the spoiler's hand had been
Not but the wasting sea-breeze keen,
Had worn the pillars carving quaint,
And mouldered in his niche the saint,
And rounded, with consuming power,
The pointed angles of each tower:
Yet still entire the Abbey stood,
Like veteran, worn, but unsubdued.

[TO BE CONTINUED.]



The AMERICAN MACHINIST, N. Y., for December 4th, contains an article on strains on pin and eye for pull rod joints, also one on force, motion and work. Both articles are interesting to those who wish to study constructive details.

The AMERICAN ARTISAN, TINNER and HOUSE-FURNISHER, Chicago, for December 13th, has a chapter on the tying of knots, making splices and loops of the most intricate kind. The article is profusely illustrated and should be in the hands of every person in any way interested in making scaffolding, or rigging hoisting apparatus for building operations.

The ENGINEERING RECORD, of December 6, has an illustrated article describing the plumbing for the water supply in the new U. S. war and navy buildings, Washington, D. C., also a description, illustrated, of the steam heating in the Plaza Hotel, N. Y.

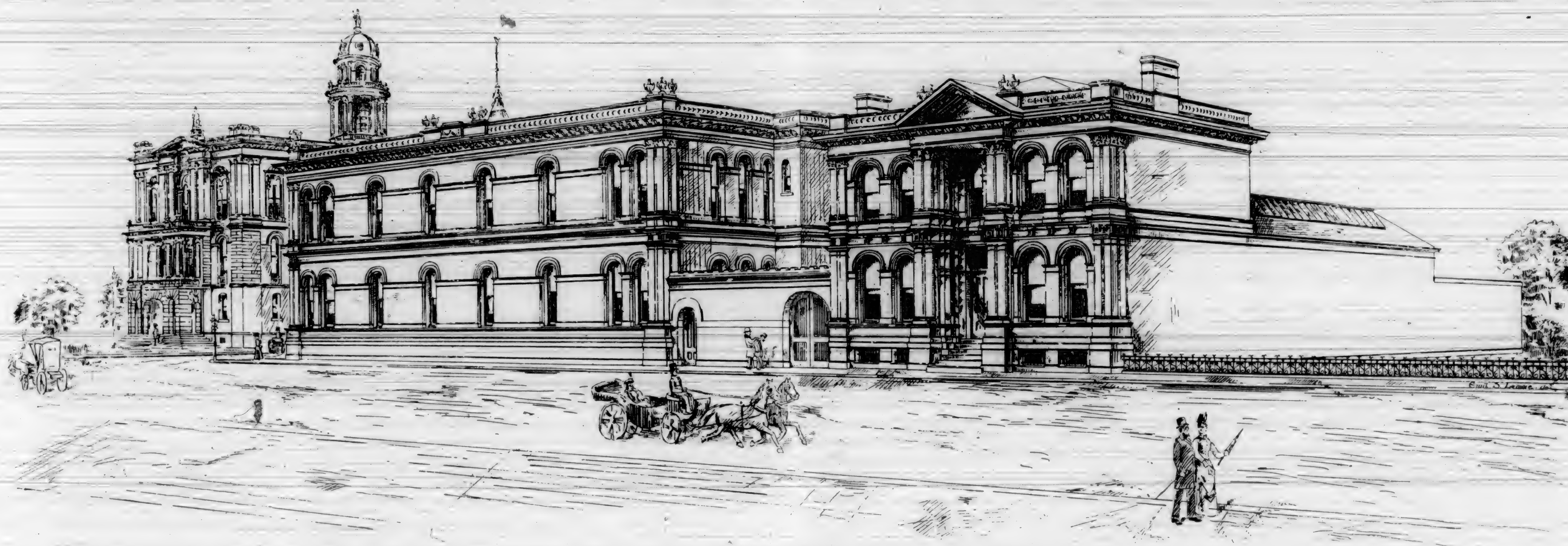
PRACTICAL GRAINING is the title of a New Book written by William E. Hall, and published by the House Painting and Decorating Publishing Co., Philadelphia.

There are some sixty pages of text descriptive of the various materials and processes used by the grainer to imitate natural woods, and the different kinds of brushes, combs, stipples, and other implements, and the methods of manipulating them.

The book is 6x9 inches, profusely illustrated, showing the different stages of the work, with more than forty beautiful colored lithographic plates of the different woods both usual and rare, that the grainer may be called on to imitate.

The book is fully indexed, and deserves to become a standard book of reference on the subject it treats.

THE CALIFORNIA ARCHITECT AND BUILDING NEWS.



COURT HOUSE, HALL OF RECORDS,
AND COUNTY JAIL, SANTA ROSA, CALIFORNIA.
J. M. CURTIS, ARCHITECT, SAN FRANCISCO.

RESIDENCE OF DR. C. D. SALFIELD N.E.
CORNER PAGE & SCHRAEDER STREETS
SAN FRANCISCO CALIFORNIA. SAMUEL
NEWSON ARCHITECT 321 3/8 PHELPS
BLOCK SAN FRANCISCO CALIFORNIA.

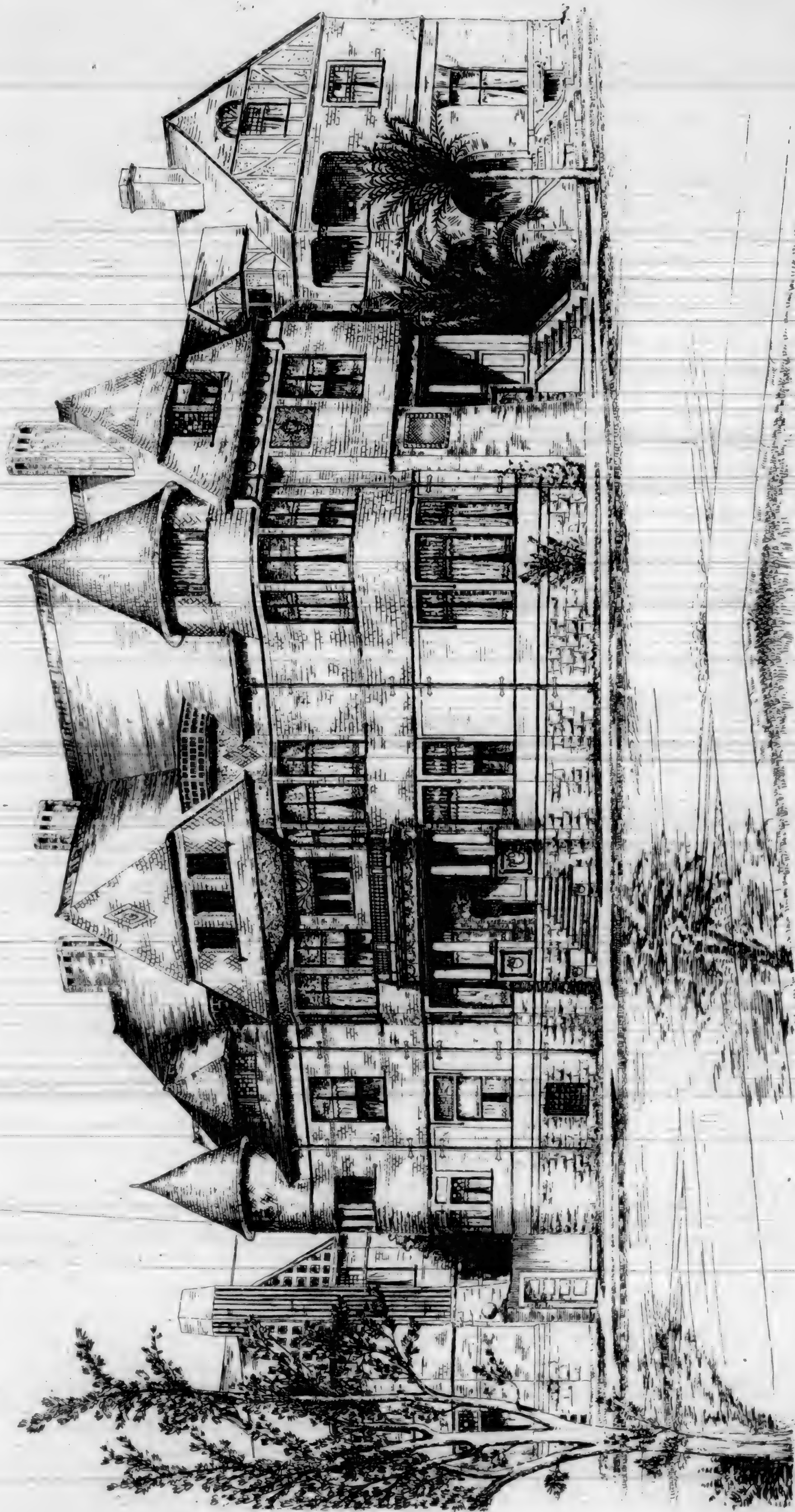
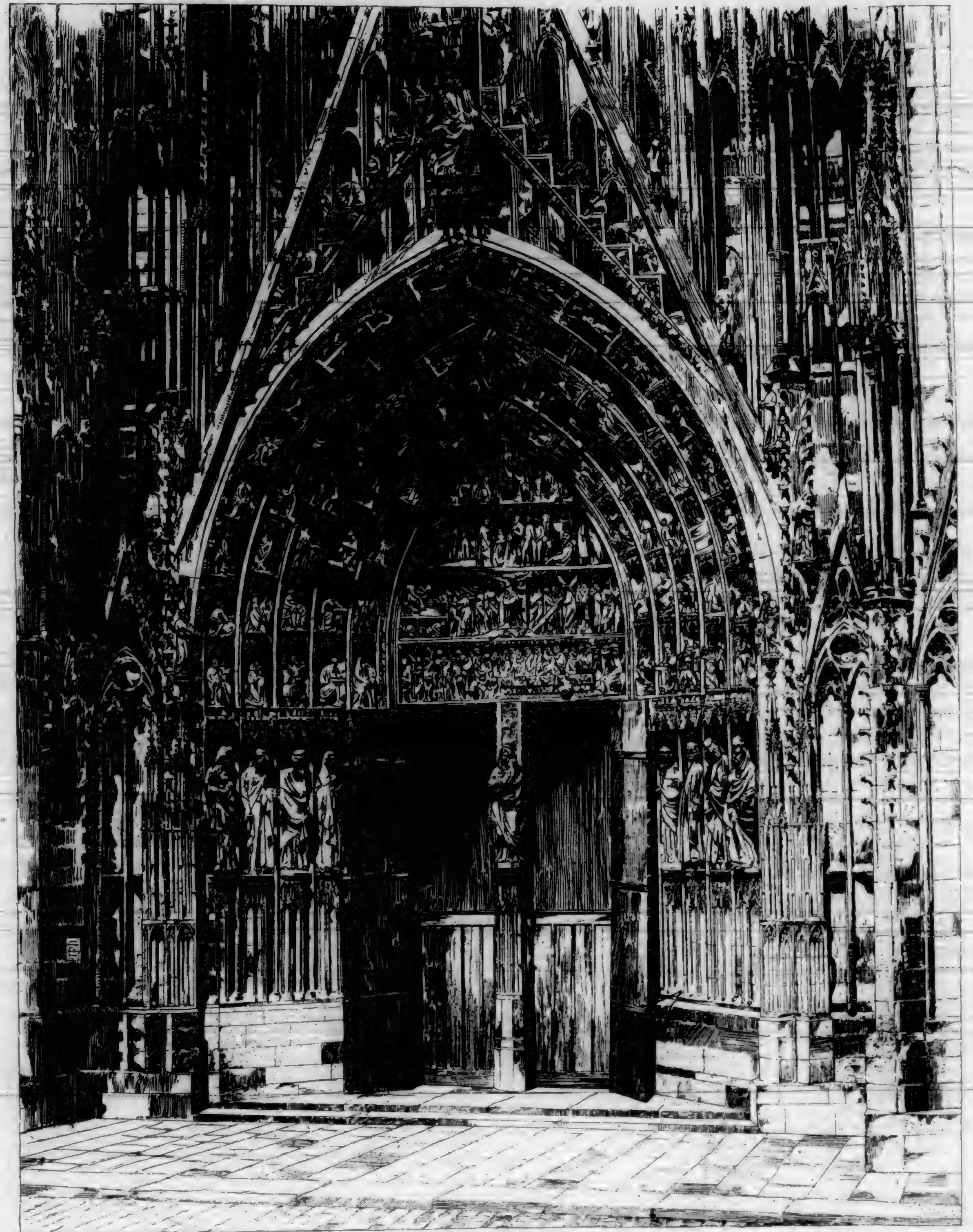


PLATE N°1.

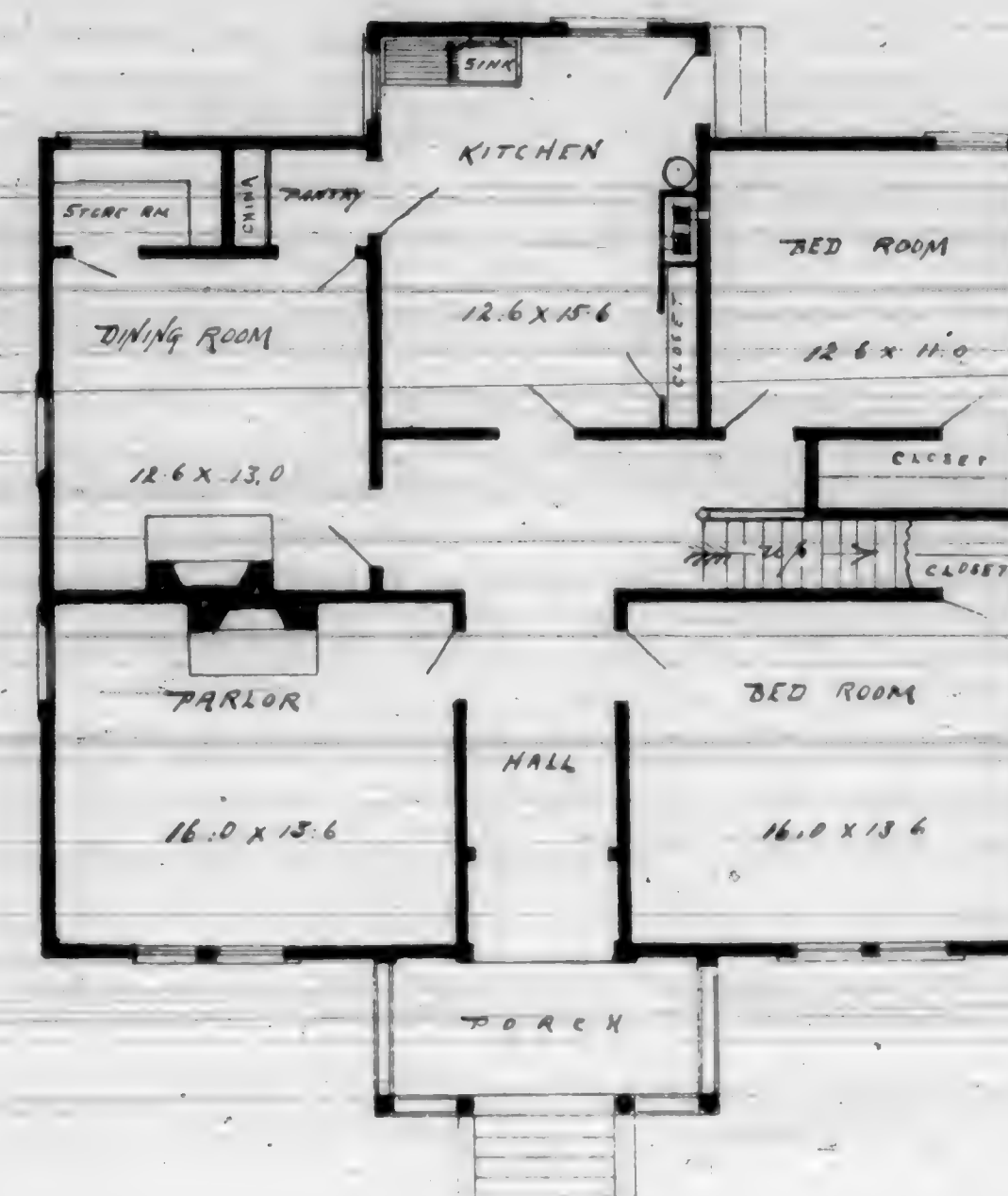


ENTRANCE TO CATHEDRAL OF CHARTRES.

PLATE N°3.

Drawn by S. C. Benson.

SUBSCRIBERS will please notify us promptly of any failure to receive the paper, and also of any change in their address.



PLAN OF MAIN STORY.



The management of this journal desires to extend a cordial invitation to all architects on this Coast and elsewhere to contribute designs for publication.

Drawings should be made with perfectly black lines on a smooth white surface. Good tracings, if made with black ink, answer the purpose.

The designs selected will be published without charge. All drawings, whether accepted or not, will be returned to their authors, who must bear express charges both ways.

Plate No. 1 is a design for a residence for Dr. C. D. Salfield, Samuel Newsom, architect.

Plate No. 2 is a design for a Jail at Santa Rosa, Cal., in course of erection, John M. Curtis, architect.

Plate No. 3.—Entrance to Cathedral Chartres, from a pen drawing by S. C. Benson.

The design for a one and a half story cottage was prepared for this Journal. Several bed rooms and store rooms are arranged in the attic story.

THE subscription price of this Journal is \$3.00 per annum, and single numbers 30 cents each.

LEGAL DECISIONS.

From a large number of Legal Decisions of the higher Courts of the different States of the Union, we select and publish in this column, such as appear applicable to this section of the country.

JUDGMENT IN REPUTED NAME.—Where a man is known by two names, and both are generally used to designate him, a judgment against him under either name is valid, without respect to which is actually his true name.

Isaacs v. Mintz, Supreme Court of New York, 11 N. Y. Supp. 422.

MECHANICS' LIEN FOR UNAUTHORIZED IMPROVEMENT.—The mechanics' lien law makes ample provision for the protection of property from encumbrance by lien for unauthorized improvements, and the establishment of a lien, by a material man, on both the land and building, cannot be barred by the defense that the building was erected by tenants under an agreement that it could be removed by them at the end of the term, unless notice of such agreement was brought home to the lienor before his contract was completed.

West Coast Lumber Co. v. Apfield, Supreme Court of California, 24 Pac. Rep. 993.

CONTRACT BY IMPLICATION.—Where it appears that a person requests prices on goods from another, and where the quotations are furnished asks how soon he could have them delivered, and upon being informed that he could have them right away responds "all right," it is a question for a jury to determine from all the facts, whether or not a contract for the goods was actually entered into, and the finding of a jury that these negotiations constitute a contract is not repugnant to law, and an appeal will be sustained.

Barwick v. Gast Lith. & Eng. Co., Supreme Court of New York, 11 N. Y. Supp. 373.

LIENS IN FAVOR OF CORPORATIONS—ERRONEOUS IN CLAIM.—

Where the mechanics' lien statute gives a lien to persons but not to corporations, the benefit of its provisions will nevertheless be extended to commercial corporations furnishing materials or labor; where the statute provides that the statement for lien must show the amount of the demand, less all just credits and offsets, a statement of an amount slightly in excess of the amount proved will not invalidate the lien, if the overcharge appears to have resulted from inadvertence and not through attempt to fraud.

Gaskell v. Beard, Supreme Court of New York, 11 N. Y. Supp. 399.

DAMAGES FOR FAILURE TO DELIVER LUMBER.—Where a contractor for a building enters into a contract with a lumber dealer for the delivery of lumber at a certain time and the lumber is not delivered at the time agreed upon, the contractor is only entitled to recover the difference between the price agreed upon and the price he was obliged to pay for lumber to take its place, but he cannot recover damages resulting from delay of the building unless he shows that he could not obtain lumber elsewhere and that such damages were within the contemplation of the parties.

Eagle Manufacturing Co. v. Andrew, Supreme Court of New York, 11 N. Y. Supp. 334.

MECHANICS' LIEN FOR UNAUTHORIZED IMPROVEMENT OF PROPERTY IN CHANCERY.—Where the guardian of minor children without any authority from the court reconstructs an old and practically valueless building so as to make it productive of an income, those who furnished material for such improvement, though not entitled to a lien under the statute, will as a matter of equity be reimbursed out of the fund which arises from the difference between the rental value of the property before and after the improvement.

Bent v. Barnett, Court of Appeals of Kentucky, 14 S. W. Rep. 596.

DEVIATION FROM SPECIFICATIONS BY CONTRACTOR.—Where the terms of a written building contract provide that the drawings and specifications of the architect are a part of the contract, it is a material and substantial defect in the performance of the contract for the builder, without permission from either the owner or the architect, to construct the rear part of the house five inches lower than the height called for by the specifications, and this is such a failure as will prevent recovery on the contract.

Oberlies v. Bulinger, Supreme Court of New York, 11 N. Y. Supp. 264.



A Mausoleum or Tomb is dead property.—Davisson.

Paper is now made so strong and tough as to be used as a substitute for oil-cloth or lineoleum. The surface is covered with a resisting and ornamental surface the same as oil-cloth.

The death rate among the Indians who aim to live like white people is three times that of those who continue to live a semi-wild life. The Pawnee tribe has lost more men by lung troubles in the last ten years than they lost in battle during the previous thirty.

It is to be hoped that the recommendation of Supervising Architect Windrim, (concurrent in by Mr. Windom) that the competitive system of obtaining designs for our public buildings be given a trial, will soon be carried into effect.

The water passing over Niagara Falls is estimated at 270,000 cubic feet per second; consequently the 10,000 cubic feet per second to be utilized by the power canal and tunnel now building would have no perceptible effect on the Falls.

Hard burned bricks reduced to a fine powder, or the finely sifted brick dust from the kilns when mixed with the common lime and sand mortar may be used as a fair substitute for cement in localities where cement is not easily obtained.

"Should 'Owld' acquaintance be forgot?" is an appropriate inscription which appears upon a new card-receiver of silver gilt, immediately above an engraved gamut, the whole being surmounted by two wise-looking owls.—Jewelers' Review.

"This is the Turkish bath-room," said Mr. Cox, as he came to the apartment: "I always made up my mind to introduce one when I built a house of my own."

"But where's the water?" asked the visitor.

"Water? Why, this is a *real* Turkish bath-room! The Turks never bathe, you know!"—Ex.

Tom—"We've got a bay window in our house." Bessie—"So have we. And a balcony." Tom—"Pooh! That's nothing. We have two bathrooms." Bessie—"So have we." Tom—"We've got something you folks haven't. I heard papa tell mamma about it last night." Bessie—"I'll bet we've got some of 'em too. What is it?" Tom—"A defective flue."—Ex.

King Solomon's Temple was begun in the year B. C. 1012, finished in B. C. 1005, and it is thought the Queen of Sheba went to Jerusalem to see King Solomon in the year B. C. 993, twelve years after the dedication of the temple. Concerning this visit "the half has not been told."

We learn from the *Seattle Press* that the School Board of Seattle has resolved to establish a training school in connection with the High School of that city. The basement of the present building is to be fitted for a workshop and supplied with materials, tools, etc. This is intended only as a beginning, to prepare the way to a more extended system.

We are pleased to see that the experiment of the Illinois Chapter, A. I. A., in taking charge of and conducting the Institute of Building Arts, bids fair to be a success. According to the report presented to the Chapter at its annual meeting, the institute has an assured income large enough to more than meet its expenses for the year, and the Chapter hopes, besides making of it a financial success, to have it represent fully the architectural engineering and building branches of science and art.

The Quebec and Ontario Associations of Architects have recommended all members of the two societies to refrain from competing for the Montreal Board of Trade.

They object to the terms of the competition for two reasons, the first being that Canadian architects are discriminated against, in favor of architects resident in the United States; the second, that the amount appropriated for the erection of the building is insufficient.

The Board of Trade refuse to alter the programme.

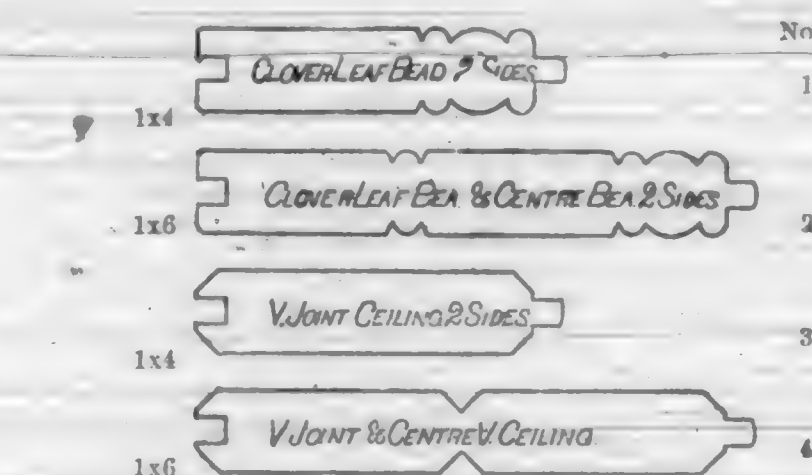
The new hotel to be built at the corner of Fifth avenue and Fifty-ninth street, New York, is to be seventeen stories, or 225 feet high. There is one comfort which the guest assigned to a room on the sixteenth story will have, and that is that the laundry, the starting place of so many a fire, will be above him on the top floor, and not at the bottom of the pile. A contemporary is worrying itself because there are to be no external fire escapes upon the building, but really when it came to a descent of 200 odd feet of iron ladders, we fear that these would hardly prove of great service to the average hotel guest; a big good parachute would seem better adapted to his needs.—Fire and Water.

The bill regulating the sale of paints, white lead, colors, linseed oil, etc. drafted by our contemporary, *Painting and Decorating* of Philadelphia, was on December 5th introduced into the House of Representatives by the Hon. H. H. Bingham and after being read twice was referred to the Committee on Ways & Means and ordered to be printed.

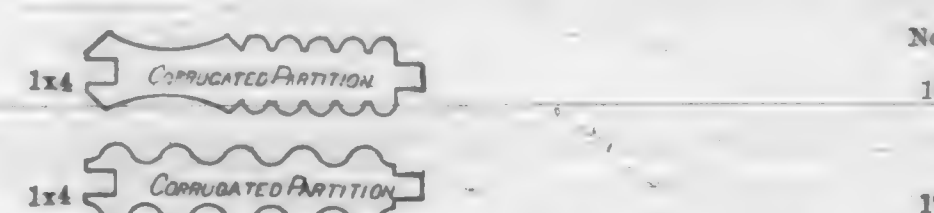
The bill provides that any person who shall sell or offer for sale any package of paint or linseed oil bearing a label which falsely describes its contents shall be guilty of a misdemeanor, punishable by fine and imprisonment. The Hon. A. C. Harmer has the bill in charge and will endeavor to push it to a successful conclusion.

BUSINESS MOSAICS.

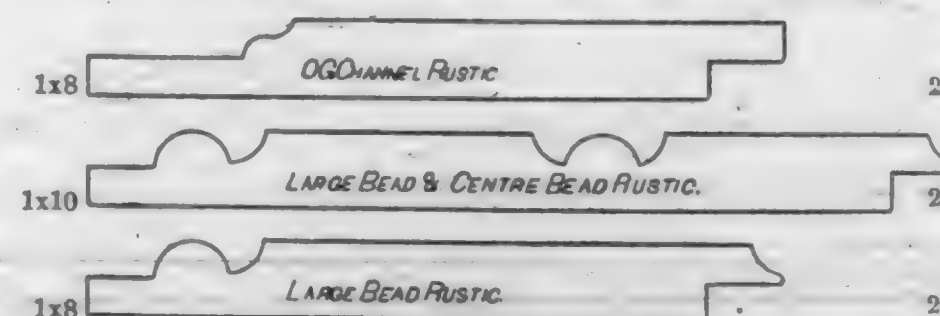
Old style plain tongued and grooved, narrow boarding for wainscoting, partitions etc., has become such common materials that boards 4 to 6 inches wide may be had wherever lumber is sold. We are pleased to note that the Excelsior Red-wood Co., C. A. Hooper & Co., have recently made an entirely new departure. Some patterns are kept in stock; others are worked to order.



The clover leaf bead No. 1 and No. 2 worked both sides are carried in stock also, the V bead No. 3 and No. 4, worked one or both sides.



The corrugated bead Nos. 16 and 17, worked both sides for partitions, are run to order at \$3.50 per M. more than clover leaf bead, when only one side is worked \$2.50 additional.



Outside sheathing, rustic, 8 and 10 inches in width, worked in special patterns as shown in cuts, No. 24, 25 and 26, at same price as regular rustic.—See advertisement for prices.

The California Sash Balance Company appear to be sweeping out all the old appliances for raising and lowering windows with the least possible exertion, and at the same time locking either the upper or lower casement in any position desired. Some of the most prominent buildings in course of erection have been planned with a view to use this appliance. Inventors who may be experimenting on casements that can be opened for cleaning, should examine this sash balance, there being no cords or weights to interfere. Wherever two or more windows are placed side by side, the space between the windows can be reduced to a minimum on account of the absence of weights in the piers. When this article becomes better known, we will be making our book-cases, closets, etc., with the doors to slide up and down in place of their swinging out into the room as is done at present.

Interested parties should inquire into this matter.

Red-wood Veneers, as prepared by the California Veneer Works, are rapidly taking precedence over other veneer work for furniture and ornamental use.—The beautiful effects of the curly and mottled red-wood is not surpassed by any of the tropical woods, while the practical advantages of this material are many. The nature of red-wood is to hold, when glued, with a tenacity unequalled by other woods, and its freedom from shrinkage makes it durable and valuable wood for the cabinet maker. When Eastern manufacturers of artistic and high quality furniture, become better acquainted with the superior quality of California red-wood, and especially such as is selected and turned out by this company, we may expect to see this excellent material in every important decoration where wood is used for decorative affect.

The engraving herewith is a representation of the exterior finish of the office of the company. The effect is more surprising when we view the Log Cabin of 200 years ago—with the beautifully polished red-wood of the interior finish, as used at the present time.

Silver Gray Effects.

The church of The Holy Innocents on Fair Oak street near twenty-seventh, of which we present an illustration, is covered with shingles from the roof to the ground. These are colored with

CHURCH OF THE HOLY INNOCENTS.
2007 F. O'NEILL ARCHT.
SAN FRANCISCO, CAL.

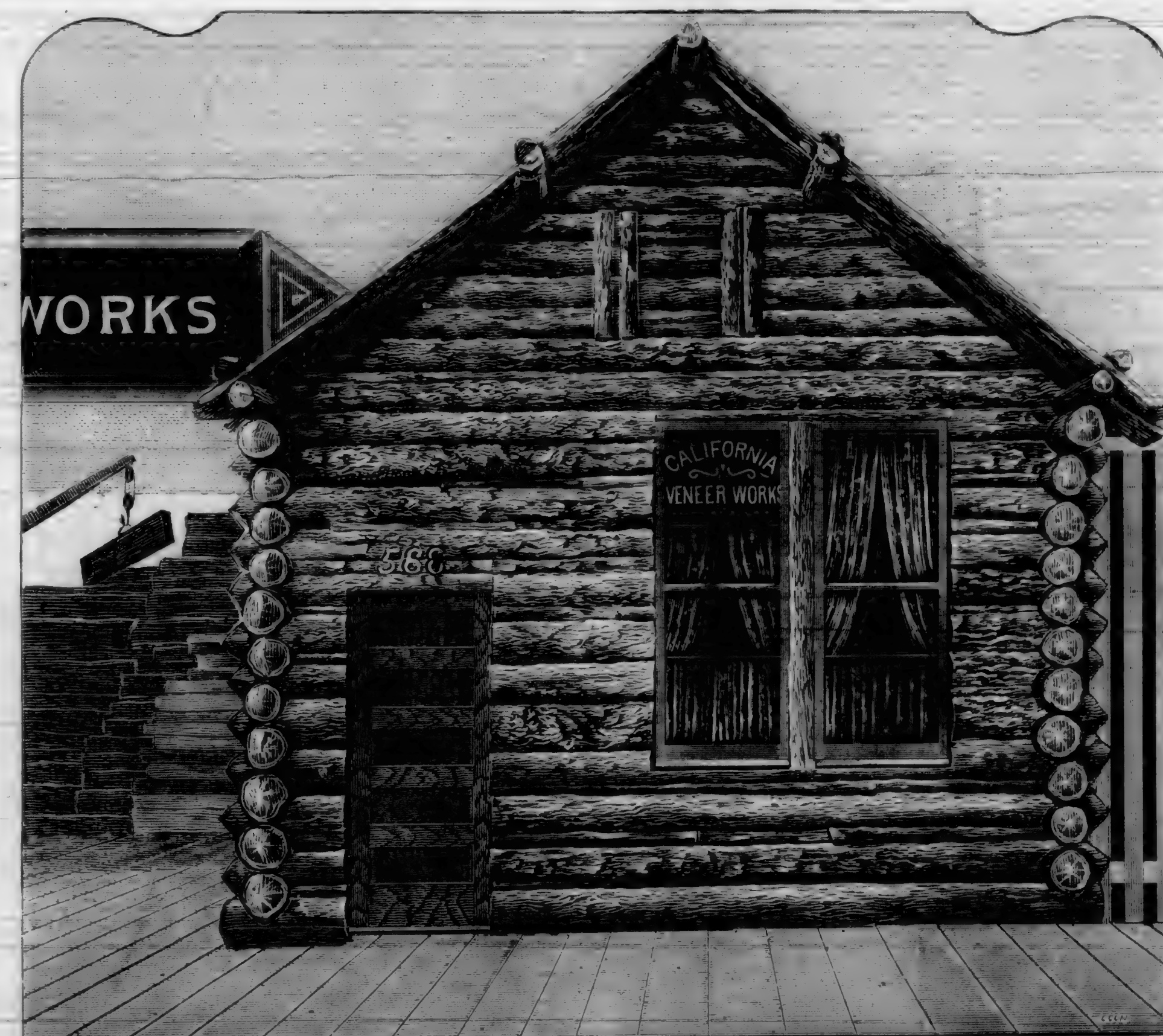


"Cabot's" silver gray, giving a true effect of weathered shingles. It is a well known fact, that neither redwood nor cedar shingles weather to a satisfactory color in this climate, probably on account of the heavy dews and consequent continual dampness of parts of the exterior, that are not directly reached by the sun's rays; however, we wish to call the attention of architects and owners, who are interested in silver gray effects to this church as a sample, and also state that this color is carried in stock in San Francisco, as well as a large variety of the other shades of Cabot's creosote wood preserving stains.

"I have a little ornamental work I should like to submit," said the Carved Design to the Corinthian Temple.

"Thanks," replied the Temple, "but the pressure upon our Columns is so great that we shall have to Decline your Offer."

The scepter of fashion has cast its shadow over the floor areas, and carpets with all their accumulation of filth are being swept out into the dust bins. Paint ascertained its right to the vacant position which was upon investigation declined. The Grand Visier was dispatched at once to the Pacific Paper Roll Company's office for a supply of the ornamental paper floor covering, as furnished by them, and used on all floors when a beautiful and healthful covering is required.



THE CALIFORNIA VENEER WORKS' OFFICE OUTSIDE.

Gas stoves for heating, made in endless variety of patterns can be seen at the show-rooms of the San Francisco Gas Co., cor. of First and Natoma streets. Ornamental grates with imitation log or coal fires and asbestos linings, showing flames sporting like sprites among the rocks and mosses of a cave, and all protected by wire screen from the danger of fire to children's clothing. Open fire moveable stoves from plain to elaborate tile decoration can be seen in operation; also close heaters where the scientific inventor has endeavored to obtain all the heat possible from the least quantity of gas. Cooking stoves and ranges manufactured on the latest improved models, which have given such universal satisfaction wherever used can be obtained at their rooms.

CITY BUILDING NEWS.

- Bay near Powell.** Carpenter work; owner, John Farnham; architect, R. H. Daley; contractor, Lancaster & Nelson; cost, \$1,401; signed, Dec. 8; filed, Dec. 16; payments, \$25, framed; \$25, completed; \$50, 35 days.
- Buchanan and Post.** Carpenter work, etc; owners, Emma Voll & Husband; architect, Townsend & Wyckoff; contractor, Jas. R. Whalen; sureties, O. H. Greenwald & L. Levi; cost, \$8,800; signed, Dec. 27; filed, Dec. 29; payments, \$1,800; framed; \$500, accepted; balance, 35 days.
- Clay near Broderick.** Carpenter work, etc; owner, Geo. E. Ames; architect, W. J. Mathews; contractor, O'Connell & Shay; cost, \$6,658; signed, Dec. 8; filed, Dec. 9; payments, \$997.15 completed; \$997.25 completed; \$997.35 completed; \$997.45 completed; \$1,665, 35 days.
- Cor. Bryant and Rincon Place.** Heating system; owner, Sisters of Mercy; architect, Chas. J. Devlin; contractor, J. J. Lawton & Jas. E. Britt; sureties, Jas. W. O'Brien & E. W. Fritz; cost, \$1,838; signed, Dec. 10; filed, Dec. 12; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Bryant and Rincon Place.** Painting; owners, Sisters of Mercy; architect, Chas. J. Devlin; contractor, Bernard Bradley; cost, \$1,695; signed, Dec. 11; filed, Dec. 12; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Bryant and Rincon Place.** Tinning & galvanized iron work; owners, Sisters of Mercy; architect, Chas. J. Devlin; contractor, Conlin & Roberts; cost, \$1,965; signed, Dec. 5; filed, Dec. 12; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Bryant and Rincon Place.** Plumbing; owners, Sisters of Mercy; architect, Chas. J. Devlin; contractor, Thos. Clark & Sons; sureties, Jas. B. Stebbins & G. P. Ayer; cost, \$3,688; signed, Dec. 5; filed, Dec. 12; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Bryant and Rincon Place.** Artificial stone work; owners, Sisters of Mercy; architect, Chas. J. Devlin; contractor, Geo. Goodman; cost, \$1,087; signed, Dec. 5; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Bryant and Rincon Place.** Plastering; owners, Sisters of Mercy; architect, Chas. J. Devlin; contractor, P. B. Downing; surety, R. Tiernan; cost, \$3,035; signed, Dec. 5; filed, Dec. 13; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Bryant and Rincon Place.** Tinning and galvanized iron work; owners, Sisters of Mercy; architect, Chas. J. Devlin; contractors, Conlin & Roberts; cost, \$2,128; signed, Dec. 5; filed, Dec. 13; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Front and Pacific.** Wrought iron work; owner, Jas. G. Fair; architect, Henry A. Schulze; contractors, Western Iron Works; cost, \$5,500; signed, Dec. 17; filed, Dec. 30; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Front and Pacific.** Painting; owner, Jas. G. Fair; architect, Henry A. Schulze; contractor, Geo. J. Smith; cost, \$2,371; signed, Dec. 17; filed, Dec. 30; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Cor. Market and City Hall Ave.** Plastering; owner, H. J. Techna; architect, H. J. Techna; contractor, M. O'Hare; cost, \$1,450; signed, Dec. 3; filed, Dec. 4; payments, \$333.75, lathed and brown mortared; \$333.75 completed; \$667.50, 35 days.
- Cor. Mission and 9th.** Four-story frame; owner, P. J. McGovern; architect, Townsend & Wyckoff; contractor, T. McGovern; cost, \$16,000; signed, Dec. 1; filed, Dec. 1; payments, \$1,000, framed; \$4,000, first mortar on; \$4,000, second coat mortar on; \$4,000, 35 days.
- Cor. O'Farrell and Elwood.** Alterations; owner, Alex. McCloud; architect, M. J. Welsh; contractor, Jas. McMahoney; cost, \$2,180; signed, Nov. 12; filed, Dec. 2; payments, \$110, house is raised; \$410, enclosed; \$410, brown mortared; \$405, completed; \$345, 35 days.
- Cor. Post, Market and Montgomery.** Passenger and freight elevators; owner, Crocker Estate Co.; architect, A. Page Brown; contractors, Huff Bros.; cost, \$37,000; signed, Dec. 13; filed, Dec. 20; payments, first day of each month as work progresses; 75 per cent. of work done; balance, 35 days.
- Cor. Post, Market and Montgomery.** Passenger and freight elevators; owner, Crocker Estate Co.; architect, A. Page Brown; contractor, Otis Bros. & Co.; cost, \$24,000; signed, Oct. 9; filed, Dec. 20; payments, 1/4 on receipt of machinery at Building; balance, 35 days.
- Cor. Pine and St. Mary's St.** Alterations; owners, T. Emden & L. Raverat; architect, Emile Depierre; contractor, T. R. Whelan; surety, \$350; signed, Dec. 13; filed, Dec. 13; payments, \$500, brick work completed; \$500, completed; \$400, 35 days.
- Cor. Pine and Jones.** Plumbing, etc; owner, R. M. Murray; architect, J. C. Newsom; contractor, R. Rice; cost, \$4,750; signed, Dec. 8; filed, Dec. 8; payments, \$1,781.25, rough work in; \$1,781.25, completed; \$1,187.50, 35 days.
- Cor. Pone & Jones.** Plastering; owner, R. M. Murray; architect, J. C. Newsom; contractor, Thos. Maunich; cost, \$3,350; signed, Nov. 13; filed, Dec. 8; payments, \$500, lathed; \$1,200, brown coated; \$1,262.50, completed; \$37.50, 35 days.
- Cor. Pine and Jones.** Brick and tile work; owner, Irvin C. Stump; architect, J. C. Newsom; contractors, Bush & Mallet; cost, \$2,200; signed, Dec. 5; filed, Dec. 13; payments, \$1,650, when contract is fulfilled; \$550, 35 days.
- Cor. Treat Ave. and Twenty-fifth.** Carpenter work; owner, J. C. Jens and wife; architect, W. C. Dickerson; contractor, J. C. Weir; cost, \$5,800; signed, Dec. 18; filed, Dec. 18; payments, \$500, foundation up; \$1,500, framed; \$1,000, roof tinned; \$1,000, partitions set; \$1,400, white coated; last payment not made if owner does the painting.
- Duncan near Church.** One-story and rough basement; owner, Edward Fennell; contractor, Michael Loftus; cost, \$1,500; signed, Dec. 31; filed, Dec. 31; payments, \$500, framed; \$625, completed; \$375, 35 days.
- Folsom near Twentieth.** Two-story frame; owner, Jas. Quinn and wife; architect, Chas. J. Devlin; contractor, M. J. Gorman; sureties, J. Mahoney and B. Joost; cost, \$1,000; cost, \$3,800; payments, \$300, framed; \$50, enclosed; \$450, first coat of plaster on; \$800, plastered; \$700, wood work is done; \$315, completed; \$975, 35 days.
- Folsom near Twentieth.** One-story and basement; owner, F. H. Chassen; architect, B. A. Brown; contractor, J. W. Mader; cost, \$3,000; signed, Dec. 2; filed, Dec. 1; payments, \$562.50, framed; \$562.50, brown coated; \$562.50, white coated; \$562.50, completed; \$750, 35 days.
- Fourteenth near Castro.** Two-story frame; owner, Mrs. Bertha Munger; architect, J. C. Newsom; contractor, H. Jacks; cost, \$3,600; signed, Dec. 30; filed, Jan. 3; payments, \$900, framed; \$900, brown mortared; \$900, completed; \$900, 35 days.
- Fulton near Polk.** Four-story frame; owner, Henry Gelfuss; architect, Henry Gelfuss; contractor, Jos. Bucher; cost, \$7,445; signed, Dec. 29; filed, Dec. 30; payments, \$1,395, framed; \$1,395, enclosed; \$1,395, inside finish on; \$1,395, completed; \$1,865, 35 days.
- Golden Gate Park.** Bridge cement work; owner, Park Commissioners; architects, Percy & Hamilton; contractors, Ransome & Cushing; cost, \$3,500; signed, Dec. 3; filed, Dec. 3; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Greenwich near Taylor.** Three-story frame; owner, John L. Williams; architect, Chas. M. Rousseau; contractor, H. C. Gardner; sureties, Blyth & Trott; cost, \$4,750; signed, Dec. 9; filed, Dec. 10; payments, \$800, framed; \$800, brown coated; \$800, white coated; \$800, completed; \$1,150, 35 days.
- Haight near Divisadero.** Carpenter work, etc; owner, Margaret Greene; architects, R. H. and R. White; contractors, White Bros.; surety, F. Joost; cost, \$6,294; signed, Dec. 4; filed, Dec. 9; payments, \$1,000, framed; \$1,375, ready for brown mortar; \$1,400, standing finish done; \$1,414, completed; \$1,739, 35 days.
- Hermann near Webster.** Carpenter work, etc; owner, John T. Cosgrove; architect, A. J. Barnett; contractor, A. J. Ahern; cost, \$3,200; signed, Dec. 31; filed, Jan. 3; payments, \$800, roof boards on; \$800, brown coated; \$800, completed; \$800, 35 days.
- Hickory Ave. near Van Ness Ave.** One-story frame; owner, Frank Brooke; contractor, Wm. Plums; cost, \$875; signed, Nov. 29; filed, Dec. 1; payments, \$875, completed and accepted by the owner.
- Howard near Eighteenth.** Mill work; owner, P. R. Sanchez; contractors, Miller & Co.; cost, \$1,463; signed, Dec. 2; filed, Dec. 2; payments, 35 days after completion.
- I st. and Seventh Ave.** Hand Ball Court, bulkheads, etc; owner, Olympic Club; contractor, Wm. Bros.; surety, F. Joost; cost, \$4,067; signed, Dec. 25; filed, Dec. 30; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Kansas near Yolo.** One-story frame; owner, Regina Thorne; architect, A. Martin; contractor, A. Martin; cost, \$1,500; signed, Dec. 16; filed, Dec. 16; payments, 1/4, framed; 1/4, mortar on; 1/4, completed; \$2,000, 35 days.
- Market near Sixth.** Shelving, store fixtures, etc; owners, Summerfield & Roman; architects, Jordan & Lyon; contractor, J. S. Sanders; cost, \$1,100; signed, Dec. 12; filed, Dec. 15; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- Mina near Julia.** Carpenter work; owner, Jas. Fitzgerald and wife; architect, Bryan J. Church; contractor, Timothy Sullivan; cost, \$6,250; signed, Dec. 8; filed, Dec. 8; payments, \$1,050, framed; \$1,200, brown mortared; \$1,200, white coated; \$1,200, completed; \$1,600, 35 days.
- Mission near Eugenia.** Alterations and additions; owner, Philomene Soiselle; contractor, H. L. Joslin; sureties, J. S. Kruse and F. Joost; cost, \$4,000; cost, \$4,085; signed, Dec. 1; filed, Dec. 1; payments, \$1,020, framed; \$1,020, brown mortared; \$1,022.50 completed; \$1,022, 35 days.
- Noe near Eighteenth.** Carpenter work, etc; owner, F. D. Davidson; architects, Gould and Colley; contractor, Wm. McPhee; cost, \$2,730; signed, Dec. 3; filed, Dec. 10; payments, \$652.50, framed; \$652.50, brown coated; \$652.50, completed; \$652.50, 35 days.
- Noe near Fourteenth.** One-story frame; owners, German Ben. Society; architect, H. Gelfuss; contractor, Jos. Bucher; cost, \$1,650; signed, Dec. 23; filed, Dec. 24; payments, \$307, brown mortared; \$307, completed; \$265, 35 days.
- No. 929 Washington st.** Carpenter work, etc; owner, Lucy A. Armstrong; contractor, C. H. Norton; cost, \$2,675; signed, Dec. 1; filed, Dec. 6; payments, \$150, grading done; \$350, south walls built; \$350, brick work finished; \$250, brown mortared; balance, 35 days.
- No. 155 Natoma st.** Two-story brick building; owner, L. D. Fricchetti; architect, M. P. Schetzel; contractor, D. H. Schriever; cost, \$4,275; signed, Dec. 22; filed, Dec. 22; payments, first and fifteenth day of each month.
- No. 155 Natoma.** Brick work and repairs for rear house; owner, L. D. Fricchetti; architect, M. P. Schetzel; contractor, J. O. Sullivan; cost, \$1,125; signed, Dec. 22; filed, Dec. 26; payments, first and fifteenth day of each month.
- No. 1717 Van Ness Ave.** Alterations; owner, O. H. Greenwald; architect, P. R. Schmidt; contractor, J. H. Wilson; cost, \$2,000; signed, Dec. 23; filed, Dec. 29; payments, 75 per cent. as work progresses; 25 per cent., 35 days.
- O'Farrell near Powell.** Alterations; owner, B. F. Bachman; architect, Huerne & Everett; contractor, F. L. Hansen; surety, B. Joost; cost, \$2,200; signed, Dec. 18; filed, Dec. 19; payments, \$550, brown mortared; \$1,100, completed; \$550, 35 days.

- Pacific Ave. near Van Ness Ave.** Mill work; owners, Patterson & Ackerson; architect, Julius Craft; contractor, A. Kendall; cost, \$2,500; signed, Nov. 29; filed, Jan. 2; payments, \$400, framed; \$475, brown coated; \$475, plastered; \$475, completed; \$500, 35 days.
- Post near Lyon.** Carpenter work, etc; owner, Owen Mulholland; architect, T. J. Welsh; contractor, J. W. Smith; cost, \$2,100; signed, Dec. 6; filed, Dec. 10; payments, \$750, ready for plastering; \$825, completed; \$625, 35 days.
- San Jose Road near 24th.** Plumbing and gas fitting for 9 flats; owner, E. C. Worden; architect, Salfield & Kohberg; contractor, John G. Gallagher; cost, \$1,339; signed, Dec. 2; filed, Dec. 4; payments, \$500, rough plumbing in; \$350, finishing plumbing done; \$500, 35 days.
- Scot near Broadway.** Plumbing, sewerage, etc; owner, Benj. M. Gunn; architect, Henry A. Schulze; contractors, Wm. S. Snook & Son; cost, \$684; signed, Nov. 29; filed, Dec. 2; payments, 75 per cent. as work progresses.
- Sixth near Minna.** Three-story frame; owner, Newman Bros. architect, H. Gelfuss; contractor, Jas. F. Logan; cost, \$1,495; signed, Dec. 2; filed, Dec. 15; payment, 75 per cent. as work progresses; 25 per cent., 35 days.
- Sutter and Leavenworth.** Plumbing, etc; owner, Frederick H. Deakin; architects, Chas. R. and J. M. Wilson; contractors, S. Ickteheimer & Bros.; cost, \$1,128; signed, Dec. 29; filed, Dec. 31; payments, \$123, rough work in; \$123, completed; \$282, 35 days.
- Sutter and Leavenworth.** Carpenter work, etc; owner, Frederick H. Deakin; architects, Chas. R. and J. M. Wilson; contractors, Ingerson & Gore; cost, \$2,180; signed, Dec. 23; filed, Dec. 31; payments, \$235, framed; \$235, brown coated; \$235, completed; \$235, 35 days.
- Sutter near Van Ness Ave.** Three-story frame; owner, Alice Hastings; architects, J. A. Shepard; contractor, W. T. Conmy; cost, \$3,242; signed, Dec. 15; filed, Dec. 15; payments, \$800, enclosed; \$800, white coated; \$800, completed; \$82, 35 days.
- Sutter near Jones.** Two-story frame; owner, Mrs. Bertha Hiber; architect, John & Balczynski; contractor, J. R. Whalen; cost, \$3,146; signed, Dec. 15; filed, Dec. 15; payments, \$2,000, framed; \$1,000, enclosed; \$1,500, white coated; \$1,600, 35 days.
- Tehama St.** Carpenter work; owner, Jos. Laine; architect, W. H. Bayless; contractor, H. J. Goetzman; cost, \$700; signed, Dec. 18; filed, Dec. 20; payments, \$100, second floor joists in; \$200, roof on; \$400, completed.
- Townsend near Seventh.** Two-story frame; owner, Wisconsin Furniture Co.; architect, Edward Burns; contractor, O. E. White; cost, \$7,970; signed, Dec. 11; filed, Dec. 17; payments, \$3,000, roofed; \$2,970, completed; \$2,000, 35 days.
- Twenty-sixth near Church.** One-story cottage; owner, W. F. O'Leary; architect, J. J. Clark; contract, F. P. Maloney; sureties, Chas. L. Ingler and H. McCollough; cost, \$2,177; signed, Dec. 28; filed, Dec. 30; payments, \$1,000, brown mortared; remainder, when accepted by the architect.
- Twenty-fifth near Church.** Carpenter work; owner, Tim Flynn; architect, A. J. Barnett; contractor, John Blake; cost, \$3,000; signed, Dec. 17; filed, Dec. 22; payments, \$850, roof boards on; \$700, ready for lathing; \$700, completed; \$750, 35 days.
- Union near Larkin.** Two-story frame; owner, A. M. Hauser and wife; architect, W. O. Banks; contractor, G. H. Walker; sureties, H. Williamson and I. Graham; cost, \$5,000; signed, Dec. 22; filed, Dec. 24; payments, \$2,500, outside finished; \$1,250, completed; \$1,250, 35 days.
- Van Ness near Golden Gate Ave.** Terra cotta work; owners, Mercantile Library Association; architects, Pissis & Moore; contractors, Gladding, McBean & Co.; cost, \$12,500; signed, Oct. 22; filed, Dec. 23; payments, first and fifteenth day of each month, 75 per cent. of work done; balance, 35 days.
- Van Ness near Golden Gate Ave.** Facing brick; owners, Mercantile Library Ass'n; architects, Pissis & Moore; contractors, Union Pressed Brick and Terra Cotta Co.; cost, \$5,580; signed, Oct. 22; filed, Dec. 23; payments, first and fifteenth day of each month, 75 per cent. of work done; balance, 35 days.
- Van Ness near Golden Gate Ave.** Painting, etc; owner, Mercantile Ass'n; architects, Pissis & Moore; contractors, I. S. Dennis & Co.; cost, \$2,065; signed, Oct. 22; filed, Dec. 23; payments, first and fifteenth day of each month, 75 per cent. of work done; balance, 35 days.

Alameda County.

- Bay St. near Buena Vista Ave.** Two-story dwelling; owner, Henry Mohms; architect, A. Stenbit; contractor, A. L. Fell; cost, \$2,000; signed, Dec. 4; filed, Dec. 12; payments, \$500, framed; \$500, white coated; \$500, completed; \$500, 35 days.
- Bathing Establishment, Oakland.** Plumbing work; owner, Piedmont Bath & Power Co.; contractors, Duffey Bros.; cost, \$9,800; signed, Nov. 29; filed, Dec. 4; payments, on fifth of each month, 50 per cent. of value of work done and materials furnished; on completion, 25 per cent. of entire price; 25 per cent., 35 days after.
- Block U, Vernon Park Tract.** Two-story stable; owner, H. Ainsworth; architect, W. J. Mathews; contractor, W. Winnie; cost, \$6,370; signed, Dec. 11; filed, Dec. 13; payments, \$955.15 completed; \$955.25 completed; \$955.35 completed; \$955.45 completed; \$955, 35 days.
- Block 19, Fifth Tract.** Two-story livery barn; owner, Albert Port, Jr.; architect, J. R. Sprague; contractor, J. B. Sprague; cost, \$2,525; signed, Dec. 12; filed, Dec. 13; payments, \$50, framed; \$50, enclosed; \$50, completed; \$40, 35 days.
- Block A, Woolsey Tract, Oakland.** One-and-one-half-story, frame owner, Hugh Forgie; architect, S. Edgar Fisher; contractor, Chas. F. Aveland; cost, \$1,900; signed, Dec. 26; filed, Dec. 27; payments, \$450, roof on; \$450, brown mortared; \$450, completed; \$550, 35 days.
- Bray Tract, Brooklyn.** Carpenter work, etc; owner, J. H. W. Riley; architect, J. H. W. Riley; contractor, F. A. Brown; cost, \$2,975; signed, Dec. 22; filed, Dec. 24; payments, \$743.75, enclosed; \$743.75, brown mortared; \$743.75, completed; \$743.75, 35 days.
- Cor. 12th and Webster, Oakland.** Carpenter work, etc; owner, Geo. F. Mayne, Jr.; architect, Geo. H. Flick; contractor, Geo. H. Flick; surety, Geo. Miller; cost, \$4,040; signed, Dec. 15; filed, Dec. 30; payments, \$1,235, walls up; \$1,235, roof tinned; \$1,235, completed; \$1,235, 35 days.
- Cor. Central Ave. and Lafayette st., Alameda.** Building stable; owner, F. W. Van Sicken; architect, Clinton Day; contractor, C. A. Parker; cost, \$2,545; signed, Dec. 19; filed, Dec. 26; payments, \$1,000, roof boards on; \$985, completed; \$362, 30 days.
- Fifteenth st. near Central Ave., Alameda.** Two-story frame; owner, Henry Mohms; architect, H. M. Allen; contractor, H. M. Allen; cost, \$2,540; signed, Dec. 22; filed, Dec. 23; payments, \$635, framed; \$635, white coated; \$635, completed; \$635, 35 days.
- Grove near 47th st., Oakland.** Brick building; owner, Oakland & Berkeley Rapid Transit Co.; architect, Chas. Mann; contractors, Herbert & McLaski; cost, \$3,925; signed, Dec. 31; filed, Dec. 31; payments, 75 per cent. of value of work done, and materials furnished as work progresses, on first and fifteenth day of each month; 25 per cent., 35 days.
- Jones st. near San Pablo, Oakland.** Two-story flats; owner, Abbie F. Aldrich; architect, R. Grav Frise; contractor, J. C. Nelson; cost, \$3,590; signed, Dec. 29; filed, Dec. 29; payments, \$2,392.50, completed; \$997.50, 35 days.
- Lot No. 2, Brooklyn Township.** Lathing and plastering; owner, Ruth A. Wellman; architect, Henry A. Schulze; contractor, T. Tucker; cost, \$1,385; signed, Dec. 13; filed, Jan. 3; payments, on first of each month as work progresses; 75 per cent. of value of work done and materials furnished, 25 per cent., 35 days.
- Lot No. 2, Brooklyn Township.** Plumbing, etc; owner, Ruth A. Wellman; architect, Henry A. Schulze; contractors, Wm. & Frederick Snook; cost, \$984; signed, Dec. 13; filed, Jan. 3; payments, on first of each month as work progresses; 75 per cent. of value of work done and materials furnished; 25 per cent., 35 days.
- McPherson st. near Railroad Ave.** Two cottages; owner, James Wall; architect, Geo. H. Benjamin; contractor, C. A. Brown; cost, \$3,080; signed, Dec. 16; payments, \$1,000, frame; \$1,084, brown mortared; \$1,084, 30 days.
- Park St., Alameda.** Plastering; owner, Carl C. Peterson; architect, Wm. Patton; contractor, Walton & Buttery; cost, \$1,130; signed, Dec. 1; filed, Dec. 6; payments, 75 per cent. of work done as it proceeds; balance, 25 per cent., 35 days.
- Seventh and Myrtle sts., Oakland.** Construction of second-story over building; owner, Wm. Gregory; architects, Willmore & Richmond; contractors, Willmore & Richmond; sureties, C. L. Maxwell and F. Johnson; cost, \$1,325; signed, Nov. 21; filed, Dec. 6; payments, 1/4, ready for plastering; 1/4, inside painted; 1/4, 35 days.
- Thirty-first near Grove.** Carpenter work; owner, Nettie R. Gates; architects, A. W. Patten & Co.; contractors, A. W. Patten & Co.; cost, \$1,470; signed, Nov. 29; filed, Dec. 1; payments, \$500, chimney built; \$1,130, brown mortared; \$730, completed; \$870, 35 days.

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